

**ABBREVIATIONS**

BB	BOTTOM OF BASIN	ICV	I
BL	BOTTOM OF LANDING	LL	LIMIT LINE (STOP BAR)
BLD	BUILDING	MAX	MAXIMUM
BR	BOTTOM OF RAMP	MIN	MINIMUM
BS	BOTTOM OF STAIR	(N)	NEW
CFL	CURB FLOWLINE	N	NORTH
CL	CENTERLINE	NG	NATURAL GRADE
CLF	CHAIN LINK FENCE	PB	PULL BOX
CO	CLEANOUT	PED	PEDESTRIAN
CONC	CONCRETE	PIP	PROTECT IN PLACE
COR	CORNER	PP	POWER POLE
CTR	CENTER	PS	PAINT STRIPE
(E)	EXISTING	SCO	S CLEANOUT
E OVHD	ELECTRICAL OVERHEAD	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SW	SIDEWALK
EV	ELECTRIC VEHICLE	TC	TOP OF CURB
FF	FINISHED FLOOR	TCX	TOP OF CURB
FG	FINISHED GRADE	TL	TOP OF LANDING
FL	FLOWLINE	TP	TOP OF PAVEMENT
FP	FLAG POLE	TR	TOP OF RAMP
FS	FINISHED SURFACE	TS	TOP OF STAIR
FSC	F SOUTH CORNER	TYP.	TYPICAL
GL	GUTTER LIP	US TE	US TELEPHONE
GM	GAS METER	W	WATER
		WM	WATER METER

**DATA TABLE**

ACCESSOR PARCEL NUMBER: 0586351160000  
 PROJECT NAME: C&S FAMILY RESTAURANT  
 LEGAL DESCRIPTION: LOTS 86 AND 87 OF TRACT NO. 2865, IN THE CITY OF YUCCA VALLEY, AS SHOWN ON A MAP RECORDED IN BOOK 39, PAGES 87 TO 90 INCLUSIVE, OF MAPS, AS RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER AS A SINGLE PARCEL.  
 BASIS OF BEARINGS - THE HORIZONTAL DATUM FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, SPC 0405, ZONE V, BASED LOCALLY ON CONTINUOUS OPERATING REFERENCE STATIONS (CORS) "IMPS" "P486" AND "BILL" NAD 83 (2011) EPOCH 2010.00. ALL BEARINGS SHOWN ON THIS MAP ARE GRID. ALL DISTANCES ARE GROUND DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES MAY BE OBTAINED BY MULTIPLYING THE GROUND DISTANCE BY A COMBINATION FACTOR OF 0.99947856. CALCULATIONS ARE MADE AT THE BASE CONTROL POINT NO. 1 BEING A 60D SPIKE WITH COORDINATES OF: NORTHING: 1869043.28 EASTING: 7031761.41 AND USING AN ELEVATION OF 3322.97 FEET.  
 BENCHMARK - THE VERTICAL DATUM USED FOR THIS SURVEY IS NAVD88 GEOID18 AS ESTABLISHED BY STATIC GPS BASED ON THE CORS STATIONS LISTED ABOVE.  
 A TEMPORARY BENCHMARK (TBM) WAS ESTABLISHED ON A COPPERWELD MONUMENT STAMPED LS 8508 AT THE CENTERLINE INTERSECTION OF ELK TRAIL AND SANTA FE TRAIL WITH AN ELEVATION OF 3321.97.

**CIVIL ENGINEER**

JESS C. SOTTO, PE C-83381  
 FUTURO ENGINEERING INC.  
 1430 E. COOLEY DR, SUITE #120  
 COLTON, CA 92324  
 EDMUNDO@FUTUROENGINEERING.COM  
 909.533.4165

**SURVEYOR**

STEVE A. LEJA, P.L.S.  
 LEJA SURVEYING CORP.

**REVISIONS**

- 1
- 2
- 3

**RESTRICTIVE NOTICE**

THESE DESIGNS, DRAWINGS & SPECIFICATIONS CANNOT BE COPIED, TRANSFERED, OR REPRODUCED, NOR CAN ANY OTHER STRUCTURE BE BUILT FROM THEM WITHOUT WRITTEN CONSENT FROM THE DRAFTSMAN.

**OWNER INFORMATION**

AUGUSTINE MARROQUIN FAMILY TRUST  
 55795 29 PALMS HIGHWAY  
 YUCCA VALLEY, CALIFORNIA 92284  
 EMAIL: CASASHOPYV71@HOTMAIL.COM  
 PHONE: 760 885-6755

**SITE DIMENSION PLAN**

**C & S FAMILY RESTAURANT  
 55795 29 PALMS HIGHWAY  
 YUCCA VALLEY, CALIFORNIA 92284**

PROJECT No  
 A22-0001

DATE  
 3/31/2025

SCALE  
 AS INDICATED

DRAWN BY  
 T.A.S.

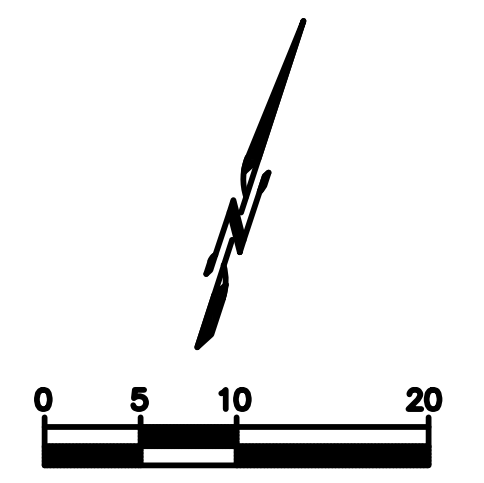
SHEET CONTENTS  
 GRADING & DRAINAGE PLAN

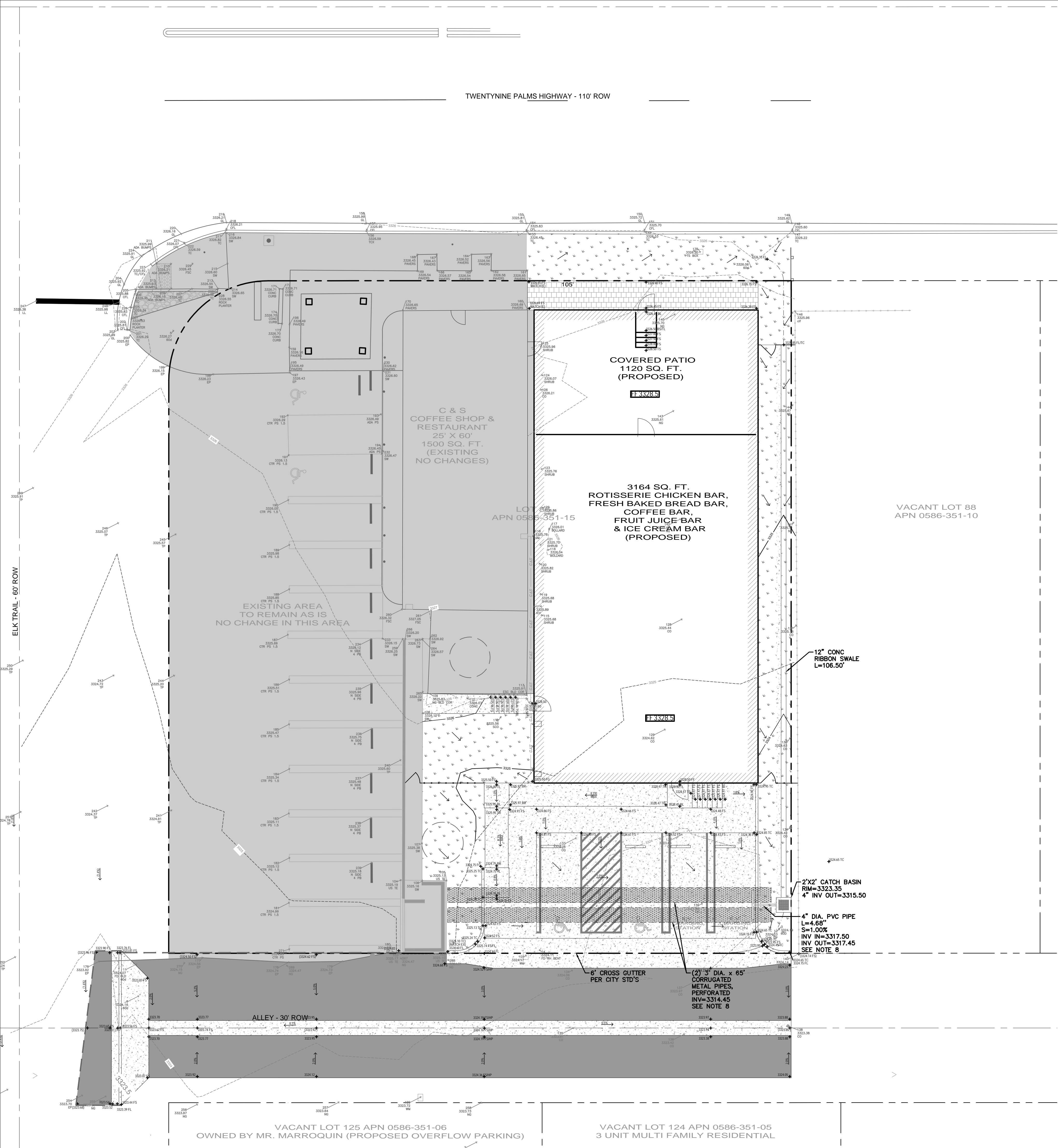
**SHEET**

**C-1**

**SITE DIMENSIONS**

SCALE: 1"=10.0'





**GRADING LEGEND**

EXISTING PROPERTY LINE	
EXISTING MAJOR CONTOURS	
EXISTING MINOR CONTOURS	
PROPOSED MAJOR CONTOURS	
PROPOSED MINOR CONTOURS	
PROPOSED SAWCUT LINE	
PROPOSED DRAINAGE FLOWLINE	
FLOW DIRECTION & SLOPE	
SURFACE ELEVATION	
EXISTING AREA TO BE UNDISTURBED	
PROPOSED ASPHALT	
PROPOSED PAVERS	
PROPOSED CONCRETE	
PROPOSED CURB & GUTTER	

**GRADING NOTES**

- PROPOSED PARCEL SITS WITHIN THE SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD PER SAN BERNADINO FIRM MAP 06071C8855H. FINISHED FLOOR ELEVATION HAS BEEN PLACED 2' ABOVE HIGHEST ELEVATION TO ACCOMMODATE THE REQUIREMENT.
- ALL GRADING SHOULD BE COMPLETED IN A WAY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE DESIGNER FOR RESOLUTION PRIOR TO FINAL GRADING OPERATIONS.
- REFER TO THE PROJECT SPECIFICATIONS FOR ALL SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS.
- CONTRACTOR SHALL EASE TOP AND TOE OF ALL SLOPES TO PROVIDE SMOOTH TRANSITIONS BETWEEN GROUND PLANES THAT ALLOW FOR POSITIVE DRAINAGE.
- APPROXIMATE AREA OF DISTURBANCE—8,400 SQ. FT.
- VERIFY DESIGN, SIZE AND LOCATION OF ALL DRAINAGE WITH THE HYDROLOGY REPORT AND ENGINEER'S SPECIFICATIONS. NOTIFY FUTURO ENGINEERING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**REVISIONS**

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**GRADING & DRAINAGE PLAN**

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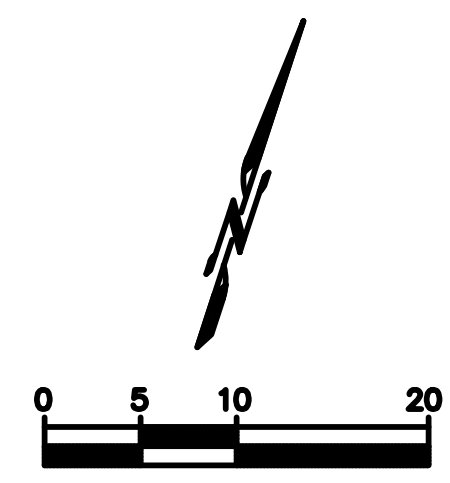
DRAWN BY  
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SHEET CONTENTS  
 GRADING & DRAINAGE PLAN

**SHEET**

**C-2**

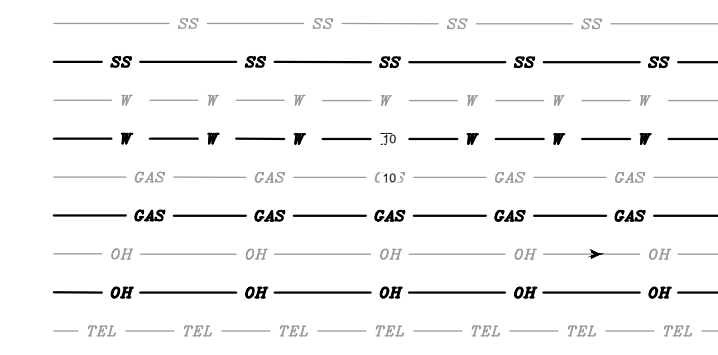
**GRADING & DRAINAGE PLAN**  
 SCALE: 1"=10.0'



VACANT LOT 125 APN 0586-351-06 OWNED BY MR. MARROQUIN (PROPOSED OVERFLOW PARKING)  
 VACANT LOT 124 APN 0586-351-05 3 UNIT MULTI FAMILY RESIDENTIAL

UTILITY LEGEND

- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING GAS
- PROPOSED GAS
- EXISTING OVHD ELEC
- PROPOSED OVHD ELEC
- EXISTING TELECOM



REVISIONS

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- 2
- 3

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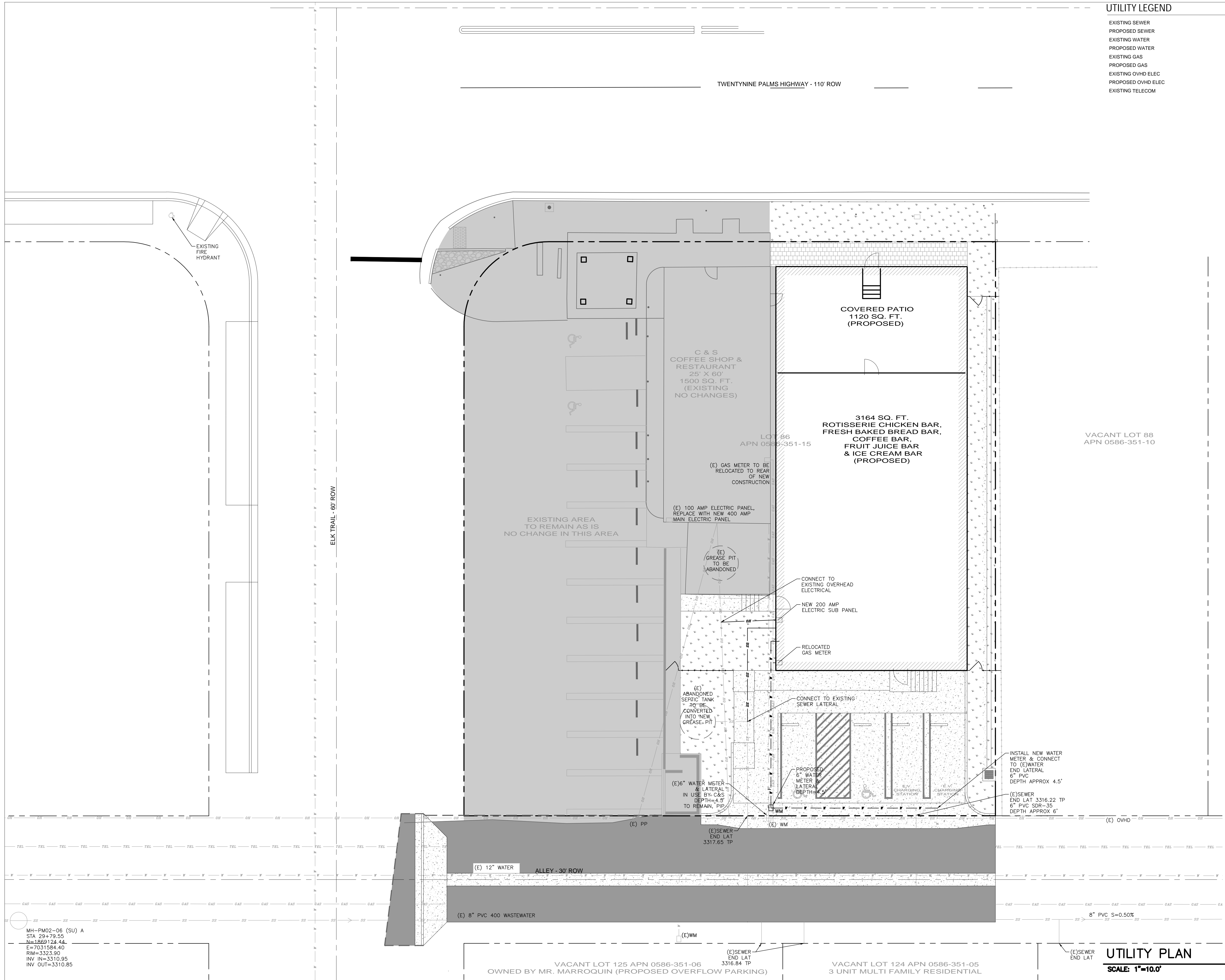
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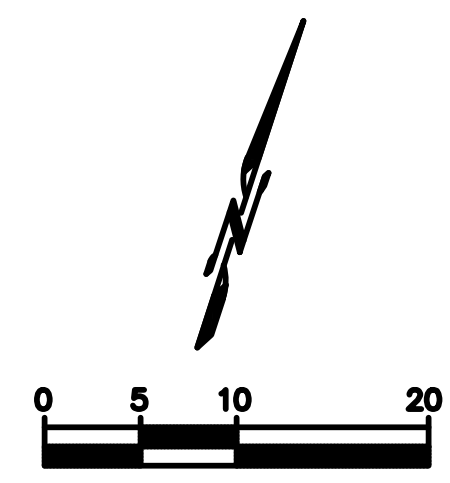
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 UTILITY PLAN

SHEET

C-3

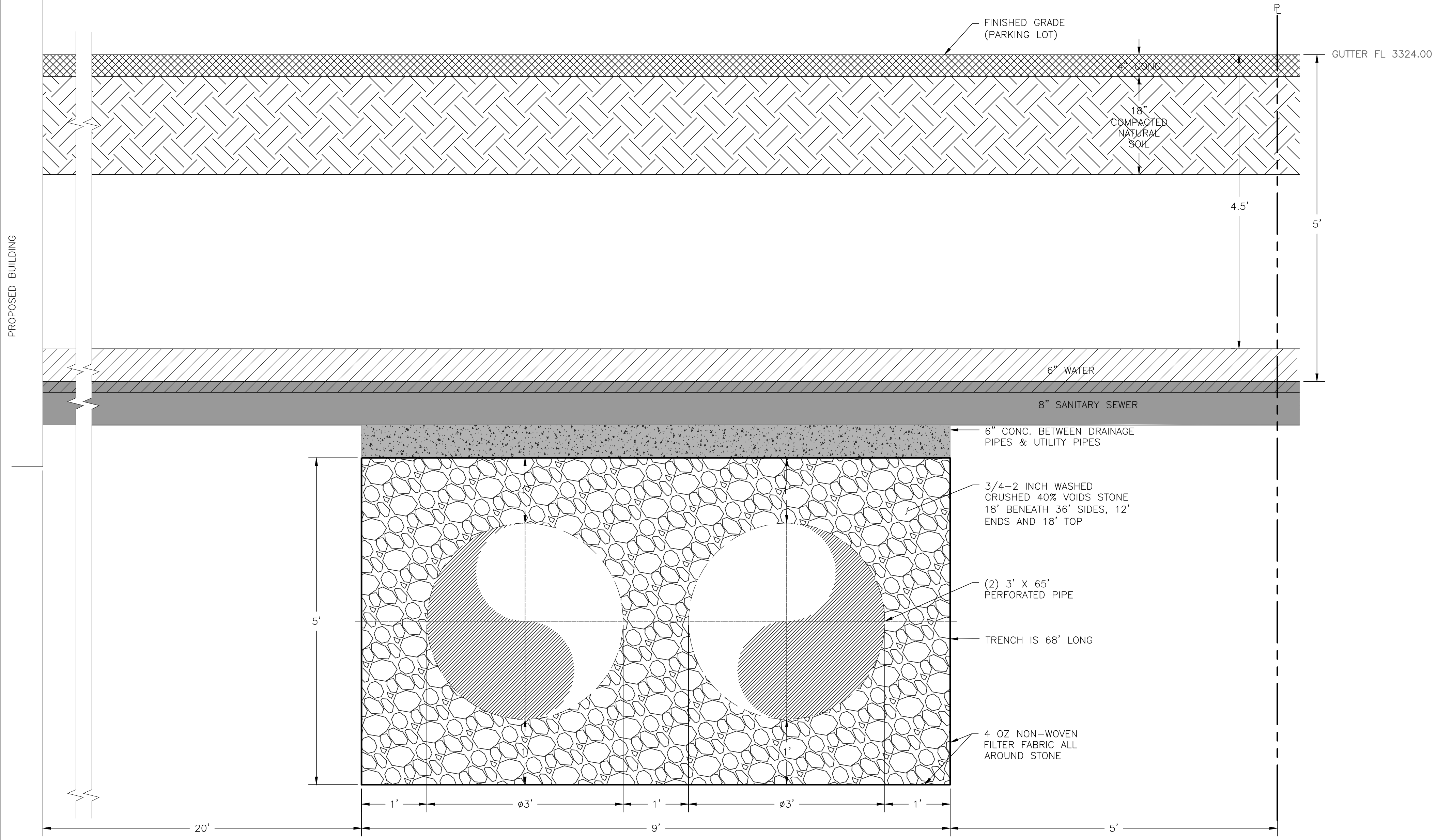


UTILITY PLAN  
 SCALE: 1"=10.0'

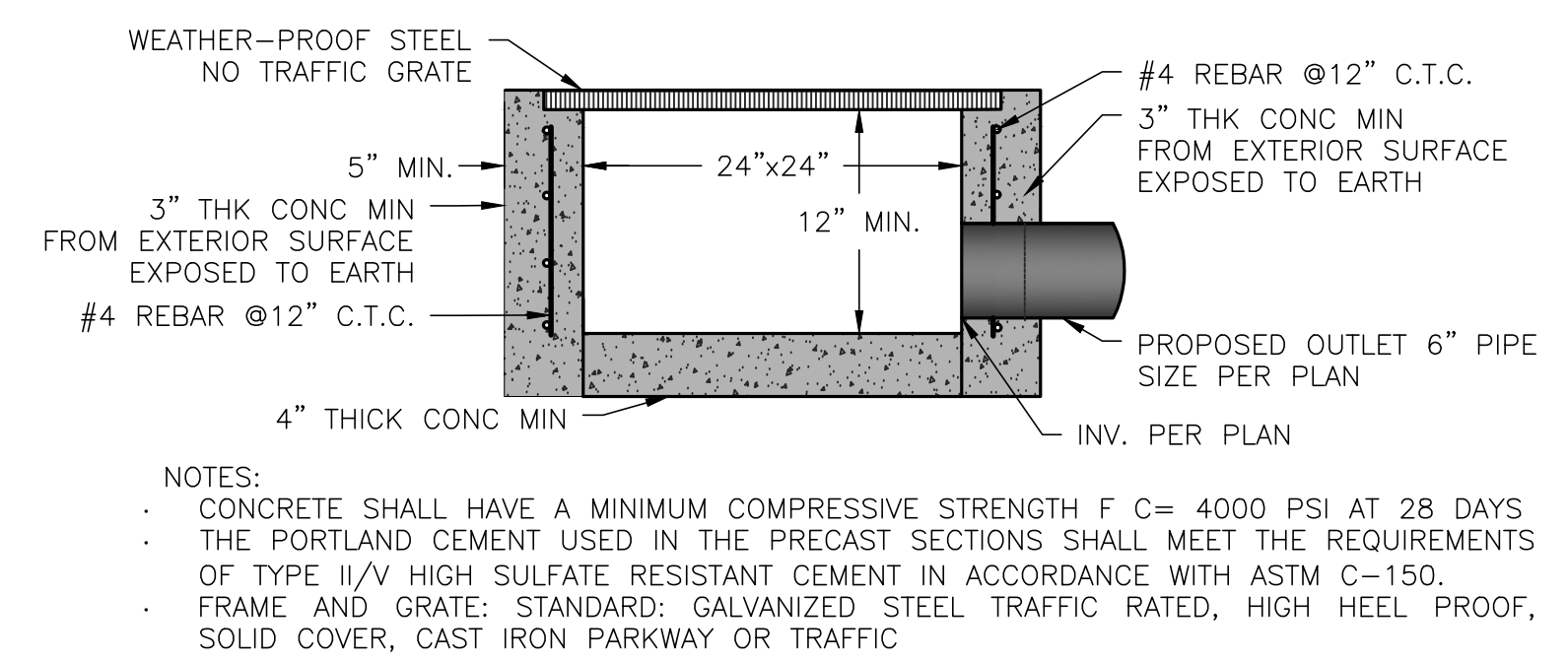


MH-PM02-06 (SU) A  
 STA 29+79.55  
 N=1869124.44  
 E=7031584.40  
 RM=3323.90  
 INV IN=3310.95  
 INV OUT=3310.85

VACANT LOT 125 APN 0586-351-06 OWNED BY MR. MARROQUIN (PROPOSED OVERFLOW PARKING)  
 VACANT LOT 124 APN 0586-351-05 3 UNIT MULTI FAMILY RESIDENTIAL



**A** DRAINAGE TRENCH DETAIL  
SCALE: 1"=10.0'



**B** CONCRETE CATCH BASIN DETAIL  
SCALE: 1"=10.0'

REVISIONS

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