

**PROJECT DESCRIPTION:**

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A 82' FAUX WINDMILL TOWER WITH (12) 8' ANTENNAS, (12) RRU'S, (1) 2' MICROWAVE, (1) GPS ANTENNA, REQUIRED ANTENNA CABLING, HCS JUMPERS, (2) GROUND MOUNTED RADIO CABINETS, (2) RAISED CONCRETE PAD, (1) EQUIPMENT CANOPY, CABLE ICE BRIDGE, UTILITY BACKBOARD AND MULTI-METER UTILITY SERVICE MOUNTED ON H-FRAME WITHIN A 40'x40' FENCED LEASE AREA. NO WATER OR SEWER SERVICE IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

**CODE COMPLIANCE:**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2022 CALIFORNIA BUILDING CODE
2. 2022 CALIFORNIA TITLE 24
3. 2022 CALIFORNIA FIRE CODE
3. 2022 CALIFORNIA ELECTRIC CODE
4. 2022 CALIFORNIA ENERGY CODE
5. 2022 CALIFORNIA MECHANICAL CODE
6. TIA/EIA-222-H OR LATEST EDITION
5. ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
6. CITY/COUNTY ORDINANCES



**US-CA-5466 YUCCA VALLEY**

APN: 0587-011-04

YUCCA VALLEY, CA 92284

82' FAUX WINDMILL TOWER

TENANT SITE ID: IE95414B

**APPROVAL BLOCK**

		APPROVED	APPROVED AS NOTED	DISAPPROVED REVISE
VERTICAL BRIDGE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PERMITTING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



22 W ATLANTIC AVE, #310  
DELRAY BEACH, FL | 33444  
561.406.4073

SITE ACQUISITION



ASSURANCE DEVELOPMENT

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

NO.	ISSUED FOR ZONING	FV	11/17/25
A	ISSUED FOR REVIEW	JR	09/08/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
DESIGNED: JR  
CHECKED: BL

PROJECT NUMBER: US-CA-5466

PROJECT TITLE:  
**US-CA-5466  
IE95414B  
YUCCA VALLEY**  
APN: 0587-011-04  
YUCCA VALLEY, CA 92284

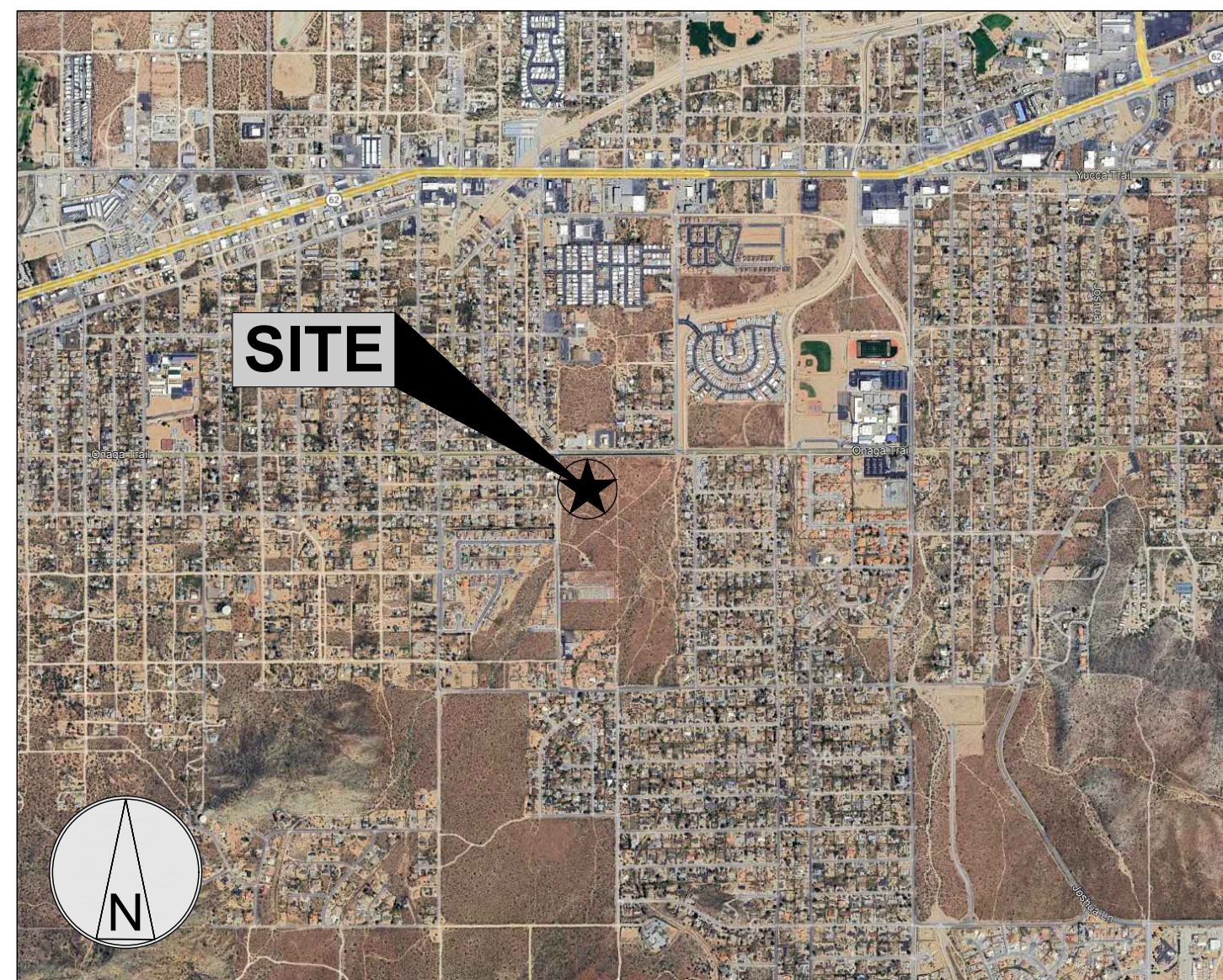
ENGINEER STAMP:

DRAWING TITLE:  
**TITLE SHEET**

DRAWING SCALE:  
AS NOTED **ZD**  
DATE:  
09/08/25

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND / OR LOCAL LAWS

DRAWING NUMBER:  
**T1**



VICINITY MAP  
N.T.S.

DRAWING INDEX	
DRWG. #	TITLE
T1	TITLE SHEET
LS-1	SITE SURVEY
LS-2	SURVEY DETAIL
LS-3	NOTES
A1	SITE PLAN
A2	ENLARGED COMPOUND PLAN
A3	EQUIPMENT AND ANTENNA PLAN
A4	ELEVATIONS



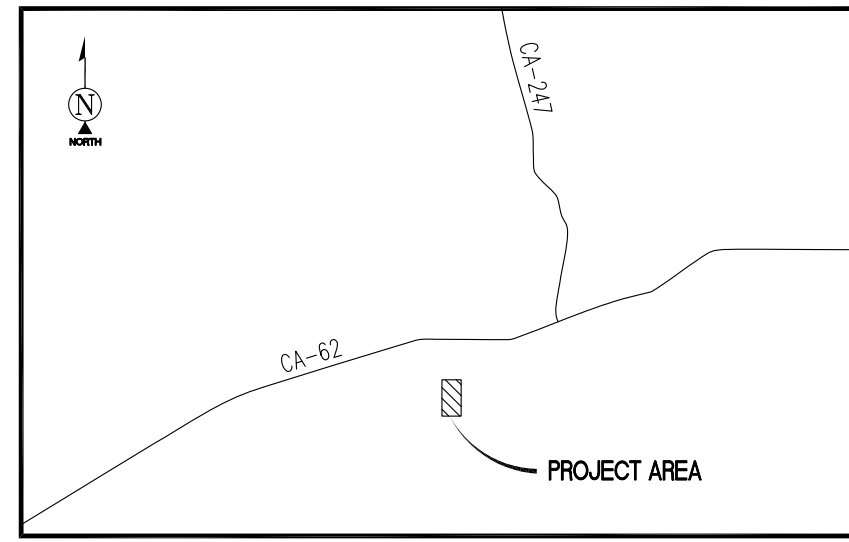
LOCATION MAP  
N.T.S.

PROJECT INFORMATION	
SITE NAME:	YUCCA VALLEY
SITE NUMBER:	US-CA-5466
TENANT SITE ID:	IE95414B
SITE ADDRESS:	APN: 0587-011-04 YUCCA VALLEY, CA 92284
PARCEL #:	0587-011-04
DEED REFERENCE:	N/A
ZONING CLASSIFICATION:	RS-2 SINGLE FAMILY RESIDENTIAL
ZONING JURISDICTION:	TOWN OF YUCCA VALLEY
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	U (UNMANNED TELECOM FACILITY)
NO. OF STORIES:	1 (ENCLOSURE ONLY)
SPRINKLER:	NONE
STRUCTURE TYPE:	FAUX WINDMILL TOWER
STRUCTURE HEIGHT:	82'
CONSTRUCTION AREA:	1,600 SQ. FT.
GROUND ELEVATION:	3414.30' (NAVD88)
LATITUDE (NAD 83):	34.111031° (34° 06' 39.71" N)
LONGITUDE (NAD 83):	-116.434928° (116° 26' 05.74" W)

**EMERGENCY:**  
CALL 911



PROJECT DIRECTORY	
PROPERTY OWNER:	THONG POR 9580 SPYGLASS AVE, HOT SPRINGS, CA 92240
APPLICANT:	VERTICAL BRIDGE 22 W ATLANTIC AVE, #310 DELRAY BEACH, FL   33444
CONTACT:	ASSURANCE DEVELOPMENT 1499 HUNTINGTON DR. #305 SOUTH PASADENA, CA 91030 CONTACT: BILL LEWIS PHONE: 626.765.5079
POWER COMPANY:	SCE
TELCO COMPANY:	FRONTIER



VICINITY MAP  
N.T.S.

**GRID-TO-GROUND SCALE FACTOR NOTE**  
ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA FIVE STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99979911

**FLOOD\_ZONE**  
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD\_ZONE "D". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06071C8860H, DATED 8/28/2008

**UTILITY NOTES**  
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**SURVEYOR'S NOTES**  
CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON MAPS OF RECORD AND DEED INFORMATION AS PROVIDED BY A TITLE REPORT AND A SEARCH OF THE COUNTY RECORDER AND SURVEYOR ONLINE DATABASE. A FIELD SURVEY HAS BEEN PERFORMED AND MONUMENTATION HAS BEEN RECOVERED TO PLACE THE RECORD INFORMATION. RECORD BEARINGS HAVE BEEN ADJUSTED TO THE BASIS OF BEARING STATEMENT SHOWN ON THIS SURVEY. THIS SURVEY DOES NOT MAKE ANY ATTEMPT TO RECONCILE ANY ERRORS IN THE RECORD MAPS OR DEEDS OF RECORD.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

NO WETLANDS HAVE BEEN INVESTIGATED BY THIS SURVEY.

THE LEASED PREMISES IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE ACCESS AND UTILITY EASEMENT, WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE CHURCH STREET RIGHT OF WAY, AND THERE ARE NO GAPS, GORES, SPACES OR OVERLAPS BETWEEN OR AMONG ANY OF SAID PARCELS OF LAND.

SURVEY WAS PREPARED FOR THE TOWERS, LLC

AT THE TIME OF THE SURVEY THERE WERE NO VISIBLE ENCROACHMENTS AFFECTING THE LEASE AREA OR ANY OF THE EASEMENTS.

THE LEASE AREA AND ALL EASEMENTS ARE ENTIRELY WITHIN THE PARENT PARCEL.

THE ACCESS AND UTILITY EASEMENT GOES TO A DEDICATED PUBLIC RIGHT OF WAY.

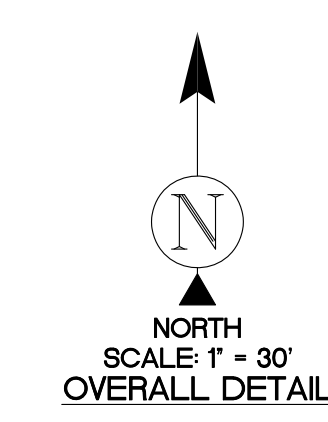
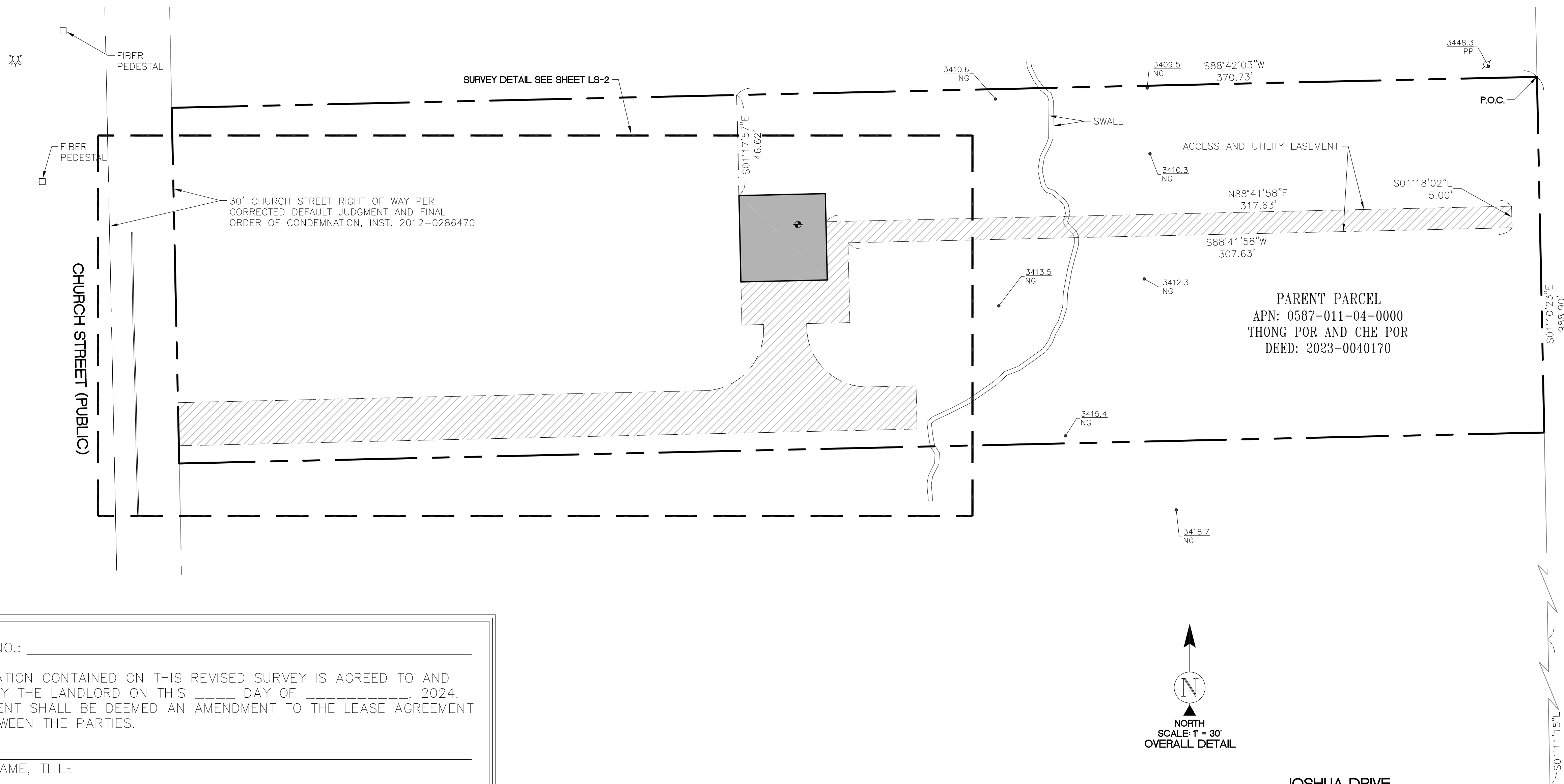
SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

LEGEND			
AP	ASPHALT		FIRE HYDRANT
NG	NATURAL GRADE		UTILITY POLE
P.O.B.	POINT OF BEGINNING		POSITION OF GEODETIC COORDINATES
P.O.C.	POINT OF COMMENCEMENT		SPOT ELEVATION
P.O.T.	POINT OF TERMINUS		
	JOSHUA TREE		
	CURBLINES		
	STREET CENTERLINES		
	SUBJECT PROPERTY LINE		
	ADJACENT PROPERTY LINE		
	LEASE AREA LIMITS		
	MAJOR CONTOUR INTERVAL		
	MINOR CONTOUR INTERVAL		

**SURVEY DATE**  
08/22/2025

**BASIS OF BEARING**  
BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE FIVE STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983(2011) (EPOCH 2019.25). DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

**BENCHMARK**  
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 18' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.



SITE NAME/NO.: \_\_\_\_\_

THE INFORMATION CONTAINED ON THIS REVISED SURVEY IS AGREED TO AND APPROVED BY THE LANDLORD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024. THIS DOCUMENT SHALL BE DEEMED AN AMENDMENT TO THE LEASE AGREEMENT BY AND BETWEEN THE PARTIES.

LANDLORD NAME, TITLE \_\_\_\_\_



**PROJECT INFORMATION:**

**SITE NAME:**  
**YUCCA VALLEY**

**SITE ID:**  
**US-CA-5466**

**SITE ADDRESS:**  
NO SITUS ADDRESS  
YUCCA VALLEY, CA 92284  
SAN BERNARDINO COUNTY

Rev:	Date:	Description:	By:
A	08/26/2025	PRELIMINARY	CK
0	09/15/2025	TITLE/DESIGN (C)	CK

**LAND SURVEY PREPARED BY:**

428 MAIN STREET  
SUITE 206  
HUNTINGTON BEACH, CA 92648  
PH. (480) 659-4072  
www.ambitconsulting.us

**LICENSURE NO:**

ALL SCALES ARE SET FOR 22"x34" SHEET

DRAWN BY:	CHK BY:	APV BY:
CK	PD (A)	MF

**Sheet Title:**

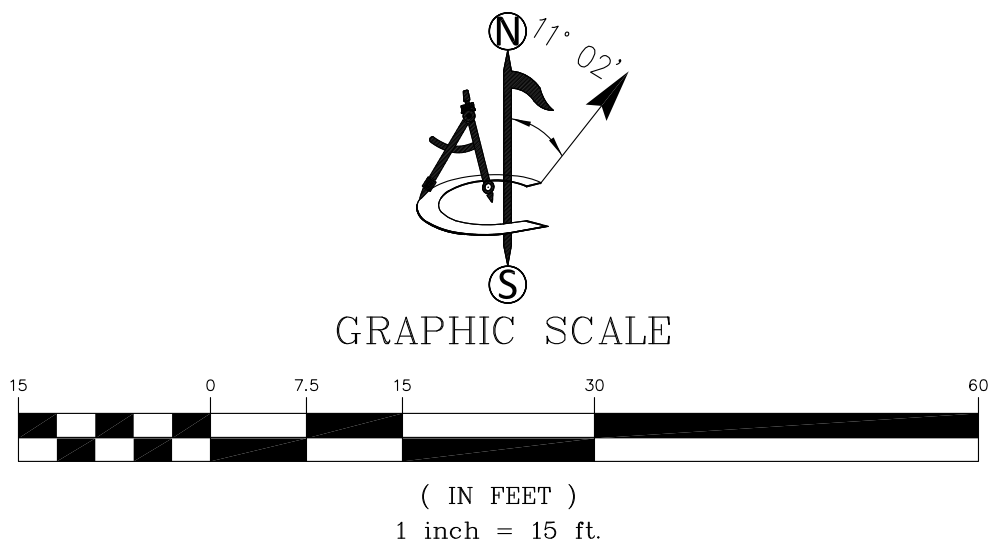
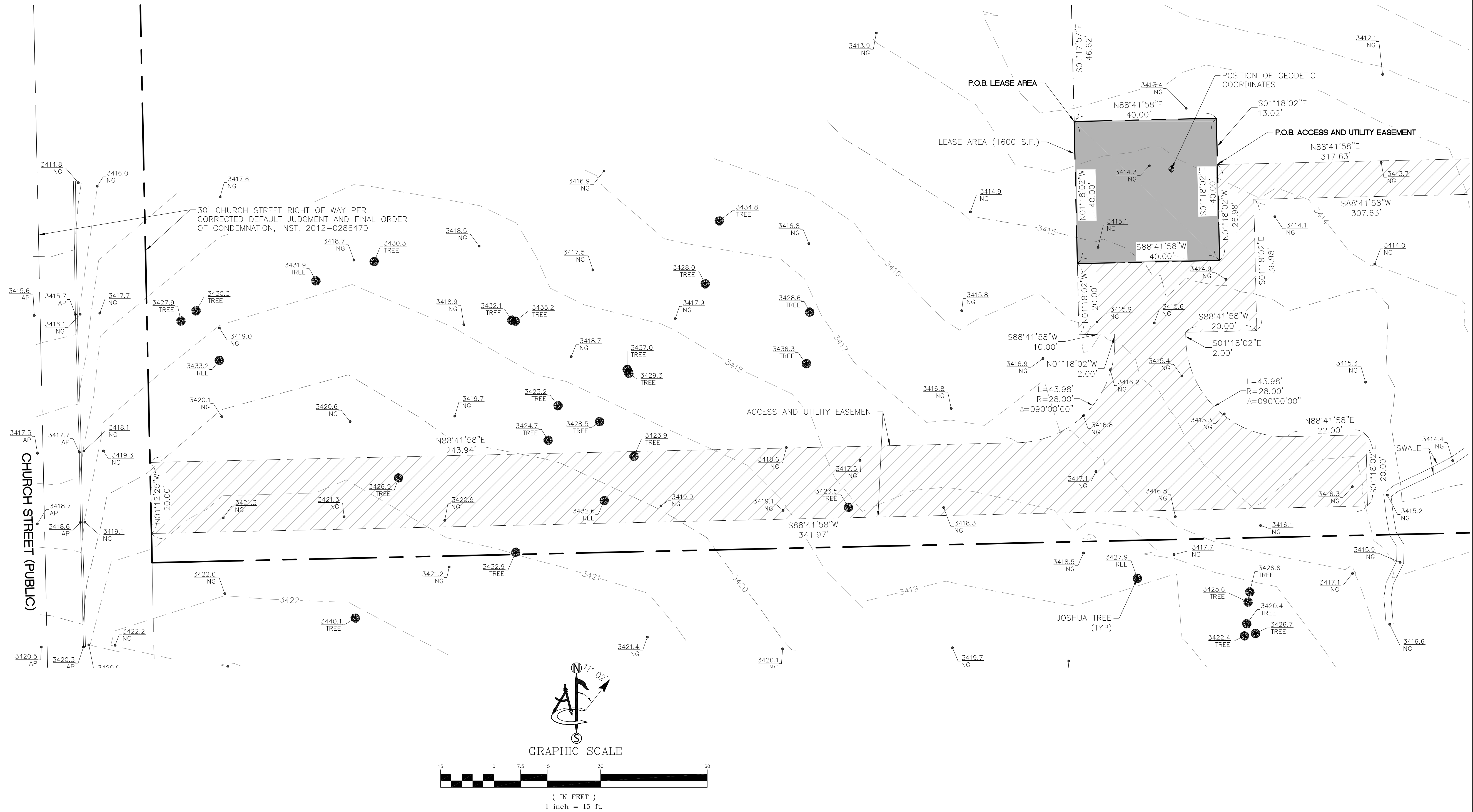
**SITE SURVEY**

**Sheet Number:**

**LS-1**

POSITION OF GEODETIC COORDINATES  
 LATITUDE 34° 06' 39.71" (34.111031°) NORTH (NAD83)  
 LONGITUDE 116° 26' 05.74" (116.434928°) WEST (NAD83)  
 GROUND ELEVATION @ 3414.3' (NAVD88)

LEGEND			
AP	ASPHALT		FIRE HYDRANT
NG	NATURAL GRADE		UTILITY POLE
P.O.B.	POINT OF BEGINNING		POSITION OF GEODETIC COORDINATES
P.O.C.	POINT OF COMMENCEMENT		SPOT ELEVATION
P.O.T.	POINT OF TERMINUS		
	JOSHUA TREE		
	CURLINES		
	STREET CENTERLINES		
	SUBJECT PROPERTY LINE		
	ADJACENT PROPERTY LINE		
	LEASE AREA LIMITS		
	MAJOR CONTOUR INTERVAL		
	MINOR CONTOUR INTERVAL		



PROJECT INFORMATION:

SITE NAME:  
**YUCCA VALLEY**

SITE ID:  
**US-CA-5466**

SITE ADDRESS:  
 NO SITUS ADDRESS  
 YUCCA VALLEY, CA 92284  
 SAN BERNARDINO COUNTY

Rev:	Date:	Description:	By:
A	08/26/2025	PRELIMINARY	CK
0	09/15/2025	TITLE/DESIGN (C)	CK

LAND SURVEY PREPARED BY:

428 MAIN STREET  
 SUITE 206  
 HUNTINGTON BEACH, CA 92648  
 PH. (480) 659-4072  
 www.ambitconsulting.us

LICENSURE NO:

ALL SCALES ARE SET FOR 22"x34" SHEET

DRAWN BY:	CHK BY:	APV BY:
CK	PD (A)	MF

Sheet Title:  
**SURVEY DETAIL**

Sheet Number:  
**LS-2**

**SCHEDULE "B" NOTE**

REFERENCE IS MADE TO THE TITLE REPORT ORDER #VTB-214779-C, ISSUED BY WESTCOR LAND TITLE INSURANCE COMPANY, DATED AUGUST 11, 2025. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

**ITEMIZED NOTES:**

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B PART I -REQUIREMENTS ARE MET. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

2. (A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICED OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

3. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

4. EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

5. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCRoACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

6. (A) UNPATENTED MINING CLAIMS, (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, (C) WATER RIGHTS OR CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

7. ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR OR MATERIAL UNLESS SUCH LIEN IS SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

8. ANY CLAIM TO (A) OWNERSHIP OF OR RIGHTS TO MINERALS OR SIMILAR SUBSTANCES, INCLUDING BUT NOT LIMITED TO ORES, METALS, COAL, LIGNITE, OIL, GAS, GEOTHERMAL RESOURCES, URANIUM, CLAY, ROCK, SAND AND GRAVEL LOCATED IN, ON, OR UNDER THE LAND OR PRODUCED FROM THE LAND, WHETHER SUCH OWNERSHIP OR RIGHTS ARISE BY LEASE, GRANT, EXCEPTION, CONVEYANCE, RESERVATION, OR OTHERWISE; AND (B) ANY RIGHTS, PRIVILEGES, IMMUNITIES, RIGHTS OF WAY, PRIVILEGES, IMMUNITIES, RIGHTS OF WAY, AND EASEMENTS ASSOCIATED THEREWITH OR APPURTENANT THERETO, WHETHER OR NOT THE INTERESTS OR RIGHTS EXCEPTED IN (A) OR (B) APPEAR IN THE PUBLIC RECORDS OR ARE SHOWN IN SCHEDULE B. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

9. RIGHTS OF FEE SIMPLE OWNERS IN AND TO THE SUBJECT PROPERTY (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)

10. CERTIFICATE OF COMPLETION DATED JUNE 15, 1993 AND RECORDED JUNE 25, 1993 IN (INSTRUMENT) 93-272193 , IN SAN BERNARDINO COUNTY, CALIFORNIA. (BLANKET IN NATURE)

11. NOTICE OF LIS PENDENS BETWEEN TOWN OF YUCCA VALLEY; AND MICHAEL JAKUBIEC; AINELA PRONIEQICZ, AS BENEFICIARY OF A DEED OF TRUST RECORDED MAY 11, 1984 AS INSTRUMENT NO. 84-111115; TRUSTORS SECURITY SERVICE, A CALIFORNIA CORPORATION AS TRUSTEE; ALL PERSONS UNKNOWN CLAIMING ANY RIGHT, TITLE, ESTATE, LIEN OR INTEREST IN OR TO THE PROPERTY SOUGHT TO BE CONDEMNED HEREIN; AND DOES 1 THROUGH 100, INCLUSIVE, DATED JULY 21, 2011 AND RECORDED JULY 21, 2011 IN (INSTRUMENT) 2011-0295765, IN SAN BERNARDINO COUNTY, CALIFORNIA. (BLANKET IN NATURE)

12. NOTICE OF POWER TO SELL TAX-DEFAULTED PROPERTY BETWEEN TAX COLLECTOR OF SAN BERNARDINO COUNTY; AND MICHAEL JAKUBIEC, DATED FEBRUARY 1, 2013 AND RECORDED FEBRUARY 1, 2013 IN (INSTRUMENT) 2013-0047893 , IN SAN BERNARDINO COUNTY, CALIFORNIA. (BLANKET IN NATURE)

13. NOTICE OF ASSESSMENT DATED JUNE 24, 2015 AND RECORDED JULY 21, 2015 IN (INSTRUMENT) 2015-0310025, IN SAN BERNARDINO COUNTY, CALIFORNIA. (NOTHING TO PLOT)

14. NOTICE OF POWER TO SELL TAX-DEFAULTED PROPERTY BETWEEN TAX COLLECTOR OF SAN BERNARDINO COUNTY; AND THONG POR, CHE POR, THONG POR AND CHE POR, DATED DECEMBER 13, 2024 AND RECORDED DECEMBER 18, 2024 IN (INSTRUMENT) 2024-0303104 , IN SAN BERNARDINO COUNTY, CALIFORNIA. (BLANKET IN NATURE)

**LESSOR'S LEGAL DESCRIPTION (PER TITLE)**

THE FOLLOWING DESCRIBED PROPERTY IN THE TOWN OF YUCCA VALLEY, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA: THE NORTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2; TOWNSHIP 1 SOUTH, RANGE 5 EAST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

PARCEL ID#: 0587-011-04

THIS BEING THE SAME PROPERTY CONVEYED TO THONG POR AND CHE POR, HUSBAND AND WIFE AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP FROM THONG POR AND CHE POR, HUSBAND AND WIFE AND HENG POR AND CAM LOAN THI VU, HUSBAND AND WIFE AND SOHMNANG POR AND RATTANA TOUCH, HUSBAND AND WIFE AND STEVEN POR AND PISEYLEAK IM, HUSBAND AND WIFE, IN A DEED RECORDED FEBRUARY 21, 2023, IN INSTRUMENT NO. 2023-0040170.

**LEASE AREA LEGAL DESCRIPTION**

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 5 EAST, SAN BERNARDINO BASE AND MERIDIAN, SAN BERNARDINO COUNTY, CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

NOTE: ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA FIVE STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99979911

COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, FROM WHICH THE SOUTH EAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 2 BEARS SOUTH 01'10'23" EAST, 988.90 FEET; THENCE SOUTH 01'11'15" EAST, 1317.85 FEET;

THENCE FROM SAID POINT OF COMMENCEMENT SOUTH 88'42'03" WEST ALONG THE NORTH LINE OF NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 2, 370.73 FEET; THENCE DEPARTING SAID SECTION LINE SOUTH 01'17'57" EAST, 46.62 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 88'41'58" EAST, 40.00 FEET; THENCE SOUTH 01'18'02" EAST, 40.00 FEET; THENCE SOUTH 88'41'58" WEST, 40.00 FEET; THENCE NORTH 01'18'02" WEST, 40.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1600 SQUARE FEET (0.037 ACRES) OF LAND, MORE OR LESS.

**ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION**

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 5 EAST, SAN BERNARDINO BASE AND MERIDIAN, SAN BERNARDINO COUNTY, CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

NOTE: ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA FIVE STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99979911

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THENCE NORTH 88'41'58" EAST, 317.63 FEET; THENCE SOUTH 01'18'02" EAST, 5.00 FEET; THENCE SOUTH 88'41'58" WEST, 307.63 FEET; THENCE SOUTH 01'18'02" EAST, 36.98 FEET; THENCE SOUTH 88'41'58" WEST, 20.00 FEET; THENCE SOUTH 01'18'02" EAST, 2.00 FEET TO A POINT OF TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 28.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90'00'00" AN ARC DISTANCE OF 43.98 FEET; THENCE NORTH 88'41'58" EAST, 22.00 FEET; THENCE SOUTH 01'18'02" EAST, 20.00 FEET; THENCE SOUTH 88'41'58" WEST, 341.97 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF CHURCH STREET; THENCE NORTH 01'12'25" WEST ALONG SAID RIGHT OF WAY, 20.00 FEET; THENCE DEPARTING SAID RIGHT OF WAY NORTH 88'41'58" EAST, 243.94 FEET TO A POINT OF TANGENT CURVE TO THE LEFT HAVING A RADIUS 28.00 FEET, THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90'00'00" AN ARC DISTANCE OF 43.98 FEET; THENCE NORTH 01'18'02" WEST, 2.00 FEET; THENCE SOUTH 88'41'58" WEST, 10.00 FEET; THENCE NORTH 01'18'02" WEST, 20.00 FEET; THENCE NORTH 88'41'58" EAST, 40.00 FEET; THENCE NORTH 01'18'02" WEST, 26.98 FEET TO THE POINT OF BEGINNING.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY TO:

VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, ITS LENDERS, AND ADMINISTRATIVE AGENTS AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; AND WESTCOR LAND TITLE INSURANCE COMPANY.

THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE COMMITMENT NO. VTB-214779-C, ISSUED BY WESTCOR LAND TITLE INSURANCE COMPANY, DATED AUGUST 11, 2025, WHICH PROPOSES TO INSURE THE LANDS DESCRIBED UNDER ITS SCHEDULE A.

THIS SURVEYOR KNOWS OF HIS OWN KNOWLEDGE THAT THE LANDS DESCRIBED UNDER SAID SCHEDULE A OF THE TITLE COMMITMENT CONTAIN OR INCLUDE THE LANDS DESCRIBED IN AND DEPICTED ON THIS SURVEY.

THIS SURVEYOR FURTHER KNOWS TO THE BEST OF HIS KNOWLEDGE THAT THE EASEMENTS OF RECORD AND IDENTIFIED UNDER SCHEDULE B OF SAID PRELIMINARY TITLE REPORT ENCUMBER THE LANDS DESCRIBED ON THIS SURVEY, BUT SAID EASEMENTS WILL NOT INTERFERE WITH THE LOCATION OF THE PROPOSED INSURED LANDS, INCLUDING THE EXCLUSIVE EASEMENT AREA AND ANY AND ALL ACCESS, UTILITY AND GUY WIRE EASEMENT PARCELS.

I FURTHER CERTIFY THAT AT THE TIME OF THE SURVEY THERE WERE NO ENCRoACHMENTS THAT AFFECT THE LEASE AND EASEMENT, THAT THE LEASE AND EASEMENT ARE ENTIRELY WITHIN THE PARENT PARCEL, THAT THE ACCESS EASEMENT CONNECTS TO A CURRENT PUBLIC RIGHT-OF-WAY, THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF CALIFORNIA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

*Matthew R. Ford*  
MATTHEW R. FORD PLS #9588

DATED: 09/15/2025



22 W. Atlantic Ave, Suite 310  
Delray Beach, Florida 33444

**PROJECT INFORMATION:**

**SITE NAME:**  
**YUCCA VALLEY**

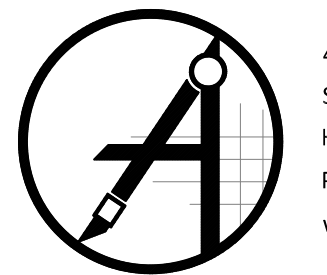
**SITE ID:**  
**US-CA-5466**

**SITE ADDRESS:**

NO SITUS ADDRESS  
YUCCA VALLEY, CA 92284  
SAN BERNARDINO COUNTY

Rev:	Date:	Description:	By:
A	08/26/2025	PRELIMINARY	CK
0	09/15/2025	TITLE/DESIGN (C)	CK

**LAND SURVEY PREPARED BY:**



428 MAIN STREET  
SUITE 206  
HUNTINGTON BEACH, CA 92648  
PH. (480) 659-4072  
www.ambitconsulting.us

**ambit consulting**

**LICENSURE NO:**



DATE: 09/15/2025

**ALL SCALES ARE SET FOR 22"x34" SHEET**

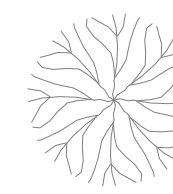
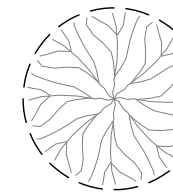
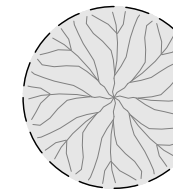
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CK	PD (A)	MF

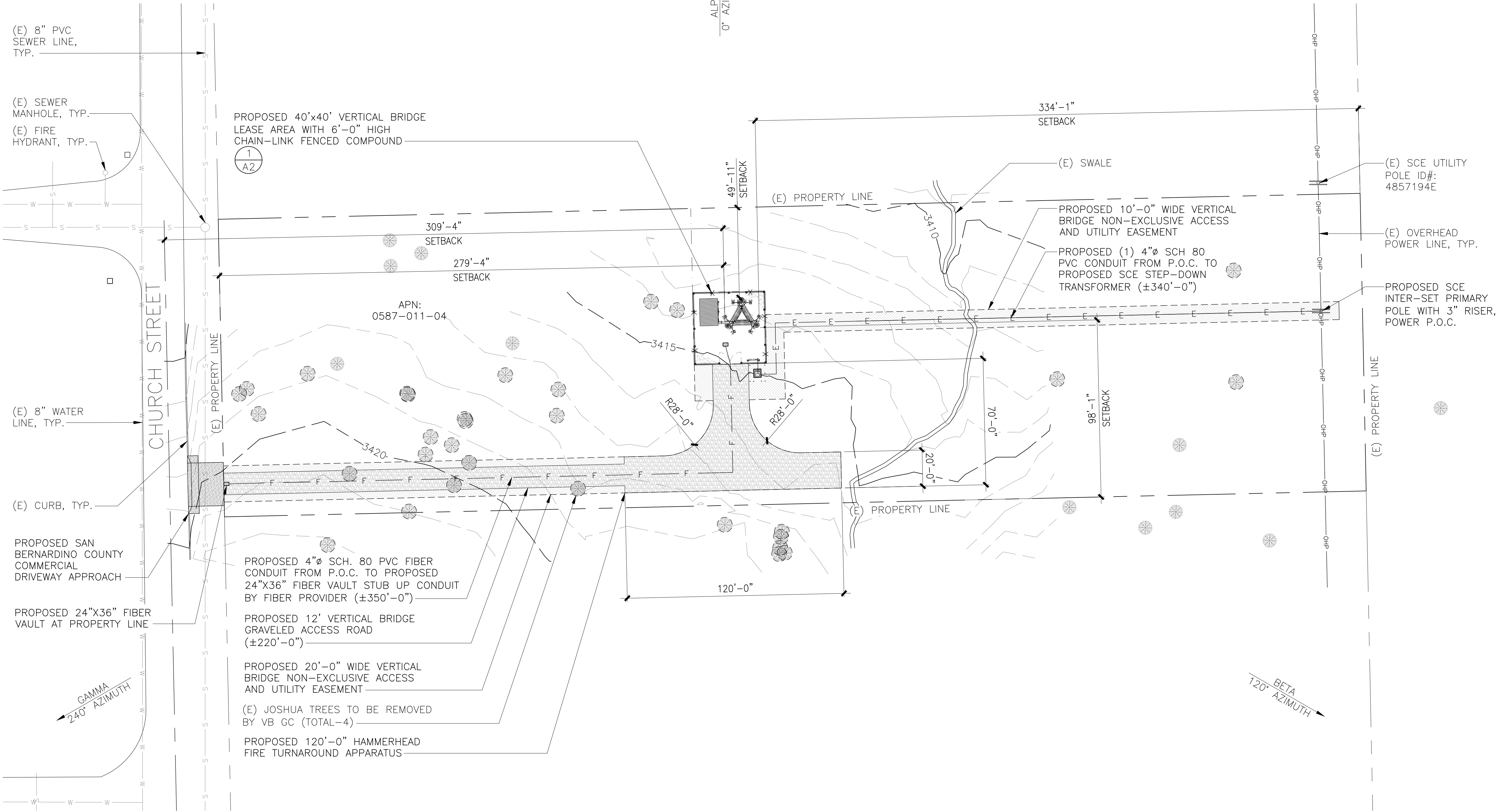
**Sheet Title:**

**NOTES**

**Sheet Number:**

**LS-2**

-  EXISTING JOSHUA TREES OUTSIDE THE 50' BUFFER ZONE
-  EXISTING JOSHUA TREES WITHIN 50' BUFFER ZONE (TOTAL-31)
-  EXISTING JOSHUA TREE TO BE REMOVED (TOTAL-4)



CLIENT  
**verticalbridge**  
 22 W ATLANTIC AVE, #310  
 DELRAY BEACH, FL | 33444  
 561.406.4073

SITE ACQUISITION  
**AD**  
**ASSURANCE DEVELOPMENT**  
 1499 HUNTINGTON DR. | SUITE 305  
 SOUTH PASADENA, CA | 91030  
 626.765.5079

NO.	ISSUED FOR ZONING	FV	DATE
0	ISSUED FOR ZONING	FV	11/17/25
A	ISSUED FOR REVIEW	JR	09/08/25
	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
 DESIGNED: JR  
 CHECKED: BL

PROJECT NUMBER: US-CA-5466

PROJECT TITLE:  
**US-CA-5466**  
**IE95414B**  
**YUCCA VALLEY**  
 APN: 0587-011-04  
 YUCCA VALLEY, CA 92284

ENGINEER STAMP:

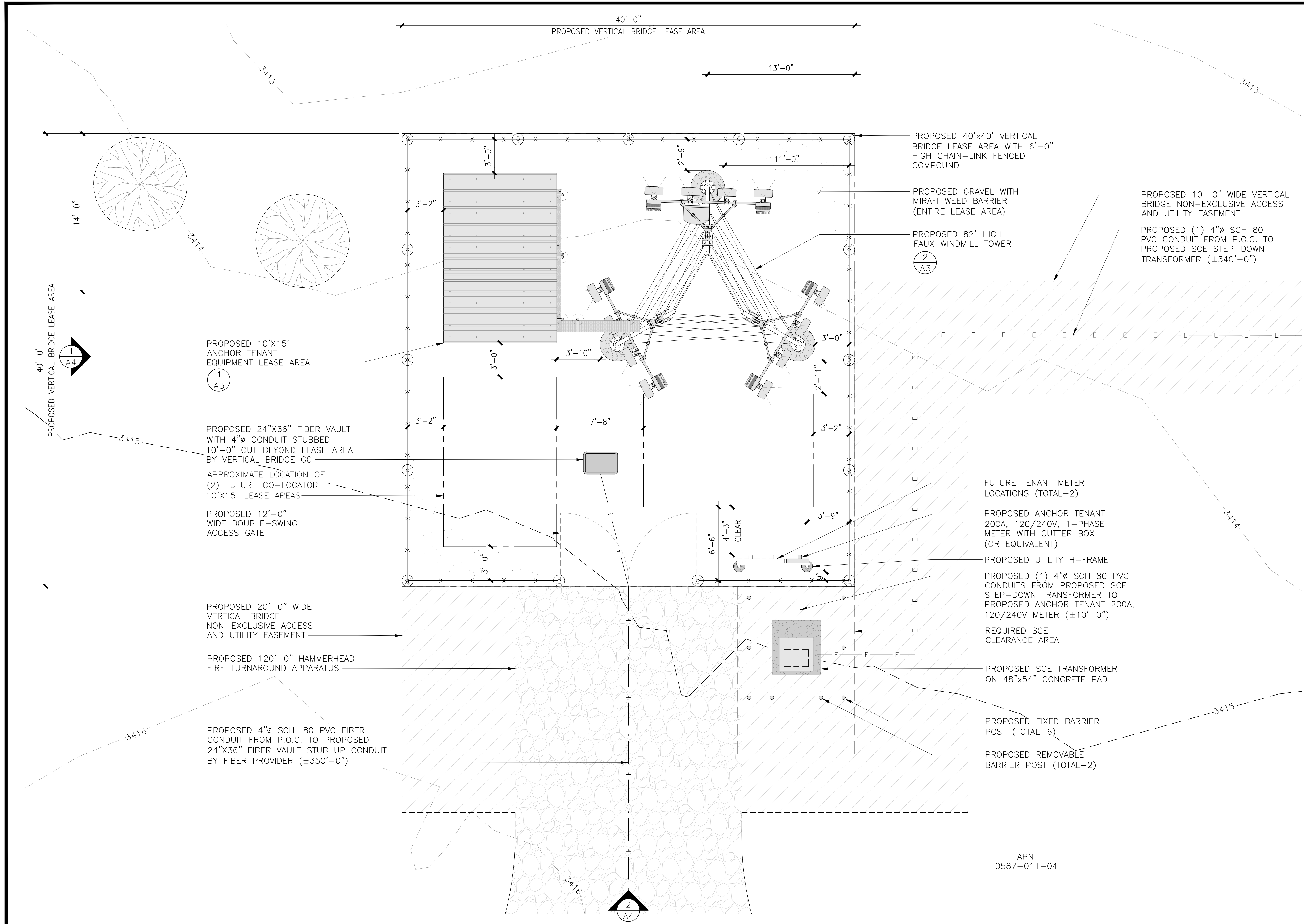
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**SITE PLAN**

DRAWING SCALE:  
 AS NOTED **ZD**

DATE:  
 09/08/25

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**A1**



CLIENT  
**verticalbridge**  
 22 W ATLANTIC AVE, #310  
 DELRAY BEACH, FL | 33444  
 561.406.4073

SITE ACQUISITION  
**AD**  
**ASSURANCE DEVELOPMENT**  
 1499 HUNTINGTON DR. | SUITE 305  
 SOUTH PASADENA, CA | 91030  
 626.765.5079

0	ISSUED FOR ZONING	FV	11/17/25
A	ISSUED FOR REVIEW	JR	09/08/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
 DESIGNED: JR  
 CHECKED: BL

PROJECT NUMBER: US-CA-5466

PROJECT TITLE:  
**US-CA-5466**  
**IE95414B**  
**YUCCA VALLEY**  
 APN: 0587-011-04  
 YUCCA VALLEY, CA 92284

ENGINEER STAMP:

DRAWING TITLE:  
**ENLARGED COMPOUND PLAN**

DRAWING SCALE:  
 AS NOTED

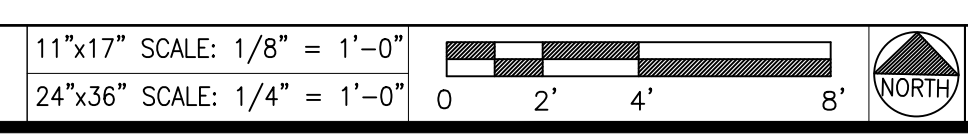
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 09/08/25

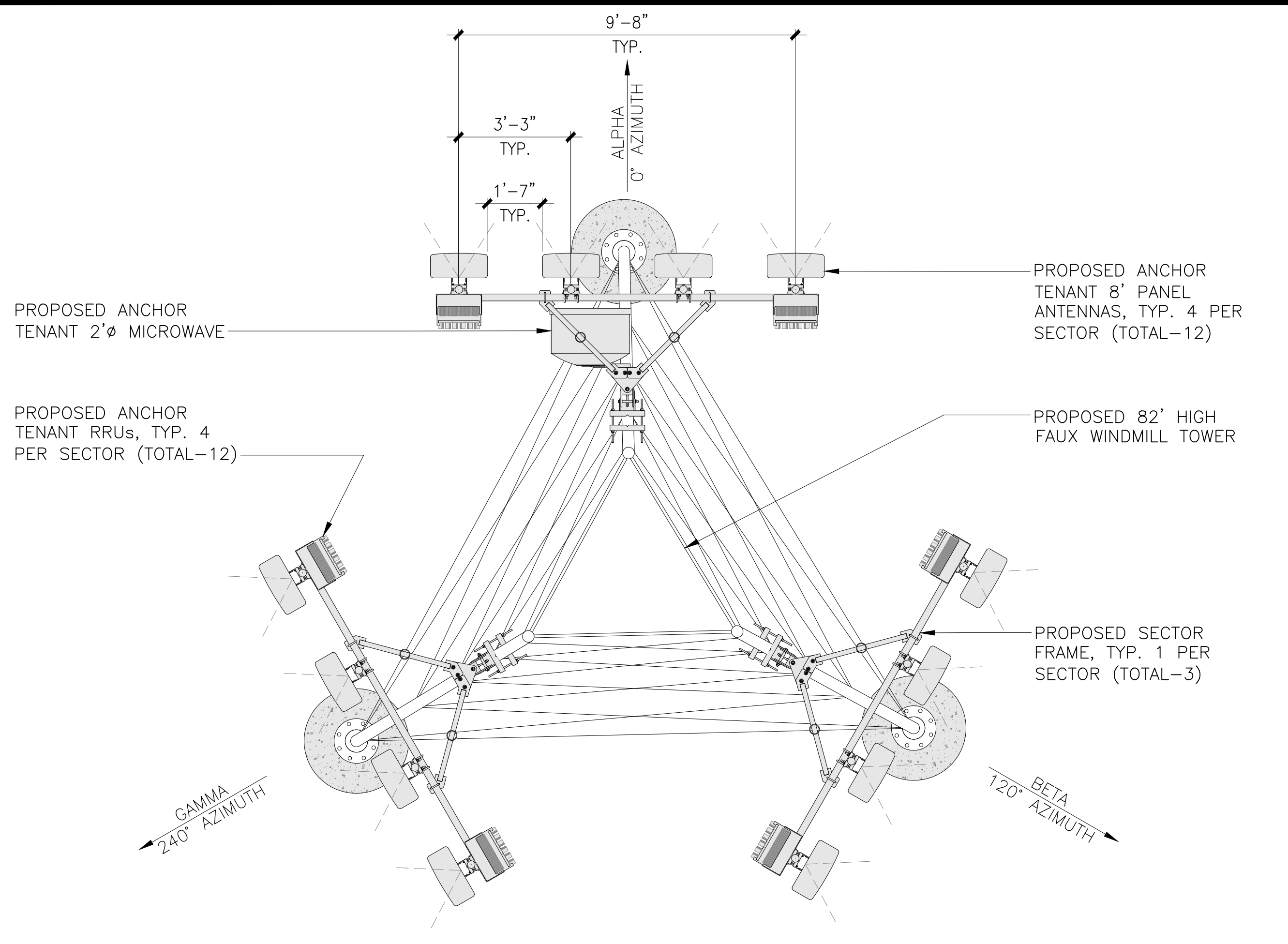
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DRAWING NUMBER:  
**A2**

ENLARGED COMPOUND PLAN

APN:  
 0587-011-04

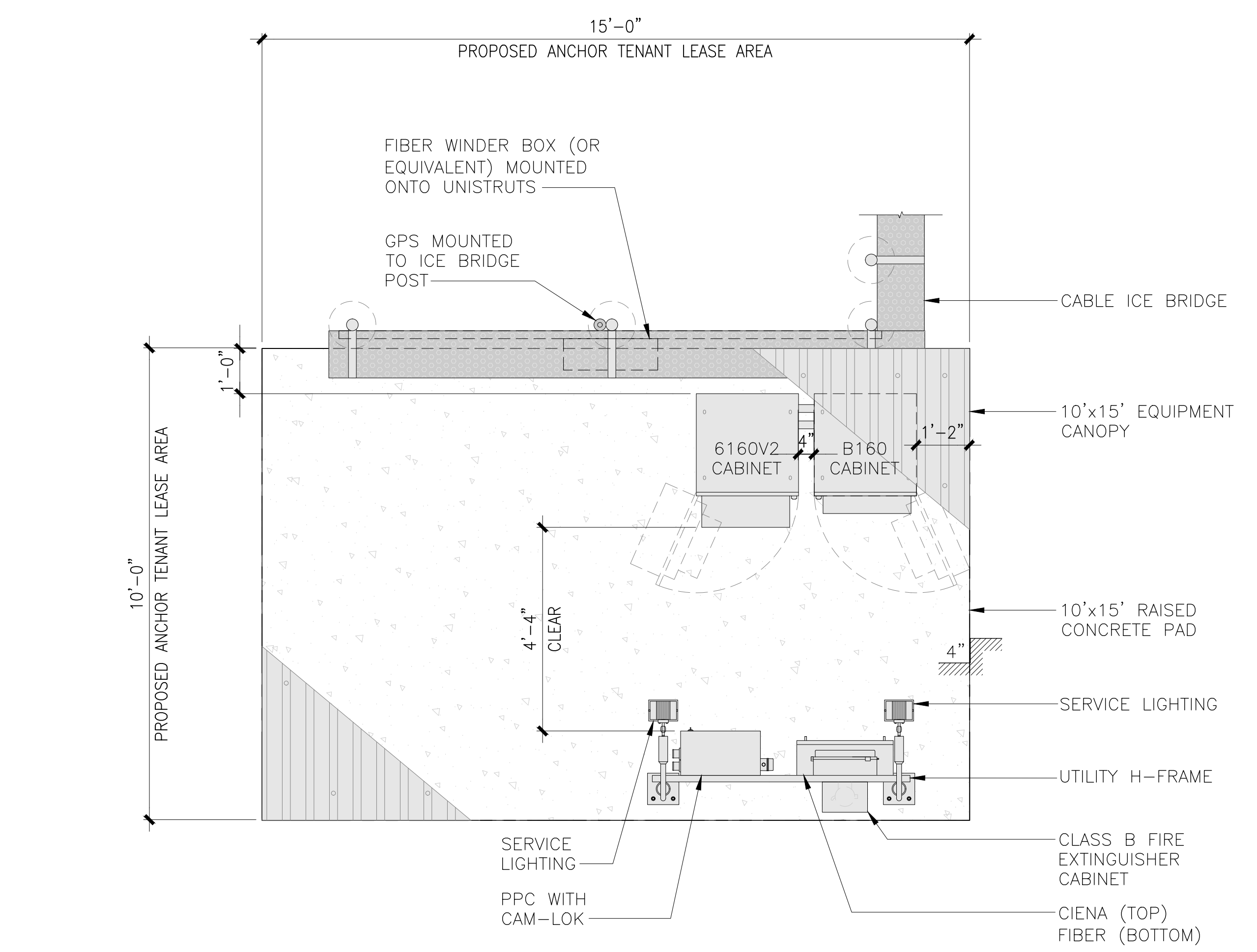




**SERVICE LIGHTING NOTES:**  
 1. THE SERVICE LIGHT IS MANUALLY SWITCHED ON/OFF BY THE SITE TECHNICIAN IN EMERGENCY SITUATIONS.  
 2. MAINTENANCE OF THE CELL SITES ARE NORMALLY PERFORMED DURING DAY-LIGHT HOURS.  
 3. THE SERVICE LIGHT SHALL BE POINTED -45° TOWARDS THE GROUND.

**SERVICE LIGHTING SPECIFICATIONS:**  
 MODEL: PLTS-12249 (OR EQUAL)  
 LED WATTAGE: 15W  
 LUMENS: 2097 LM  
 FOOT CANDLE: 194.8 FC

**NOTES:**  
 1. ALL UTILITY CONDUITS TO BE ROUTED UNDERGROUND



**SERVICE LIGHTING NOTES:**  
 1. THE SERVICE LIGHT IS MANUALLY SWITCHED ON/OFF BY THE SITE TECHNICIAN IN EMERGENCY SITUATIONS.  
 2. MAINTENANCE OF THE CELL SITES ARE NORMALLY PERFORMED DURING DAY-LIGHT HOURS.  
 3. THE SERVICE LIGHT SHALL BE POINTED -45° TOWARDS THE GROUND.

**SERVICE LIGHTING SPECIFICATIONS:**  
 MODEL: PLTS-12249 (OR EQUAL)  
 LED WATTAGE: 15W  
 LUMENS: 2097 LM  
 FOOT CANDLE: 194.8 FC

**NOTES:**  
 1. ALL UTILITY CONDUITS TO BE ROUTED UNDERGROUND

**ANTENNA PLAN**

11"x17" SCALE: 3/16" = 1'-0"  
 24"x36" SCALE: 3/8" = 1'-0"  
 0 1' 2' 4'

**2**

NOT USED

SCALE N.T.S. **3**

**EQUIPMENT PLAN**

11"x17" SCALE: 1/4" = 1'-0"  
 24"x36" SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'

**1**

CLIENT  
**verticalbridge**  
 22 W ATLANTIC AVE, #310  
 DELRAY BEACH, FL | 33444  
 561.406.4073

SITE ACQUISITION  
**AD**  
**ASSURANCE DEVELOPMENT**  
 1499 HUNTINGTON DR. | SUITE 305  
 SOUTH PASADENA, CA | 91030  
 626.765.5079

NO.	ISSUED FOR ZONING	FV	11/17/25
A	ISSUED FOR REVIEW	JR	09/08/25
	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
 DESIGNED: JR  
 CHECKED: BL

PROJECT NUMBER: US-CA-5466

PROJECT TITLE:  
**US-CA-5466**  
**IE95414B**  
**YUCCA VALLEY**  
 APN: 0587-011-04  
 YUCCA VALLEY, CA 92284

ENGINEER STAMP:

DRAWING TITLE:  
**EQUIPMENT AND ANTENNA PLAN**

DRAWING SCALE: AS NOTED **ZD**  
 DATE: 09/08/25

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DRAWING NUMBER:  
**A3**

0	ISSUED FOR ZONING	FV	11/17/25
A	ISSUED FOR REVIEW	JR	09/08/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
 DESIGNED: JR  
 CHECKED: BL

PROJECT NUMBER: US-CA-5466

PROJECT TITLE:  
**US-CA-5466**  
**IE95414B**  
**YUCCA VALLEY**  
 APN: 0587-011-04  
 YUCCA VALLEY, CA 92284

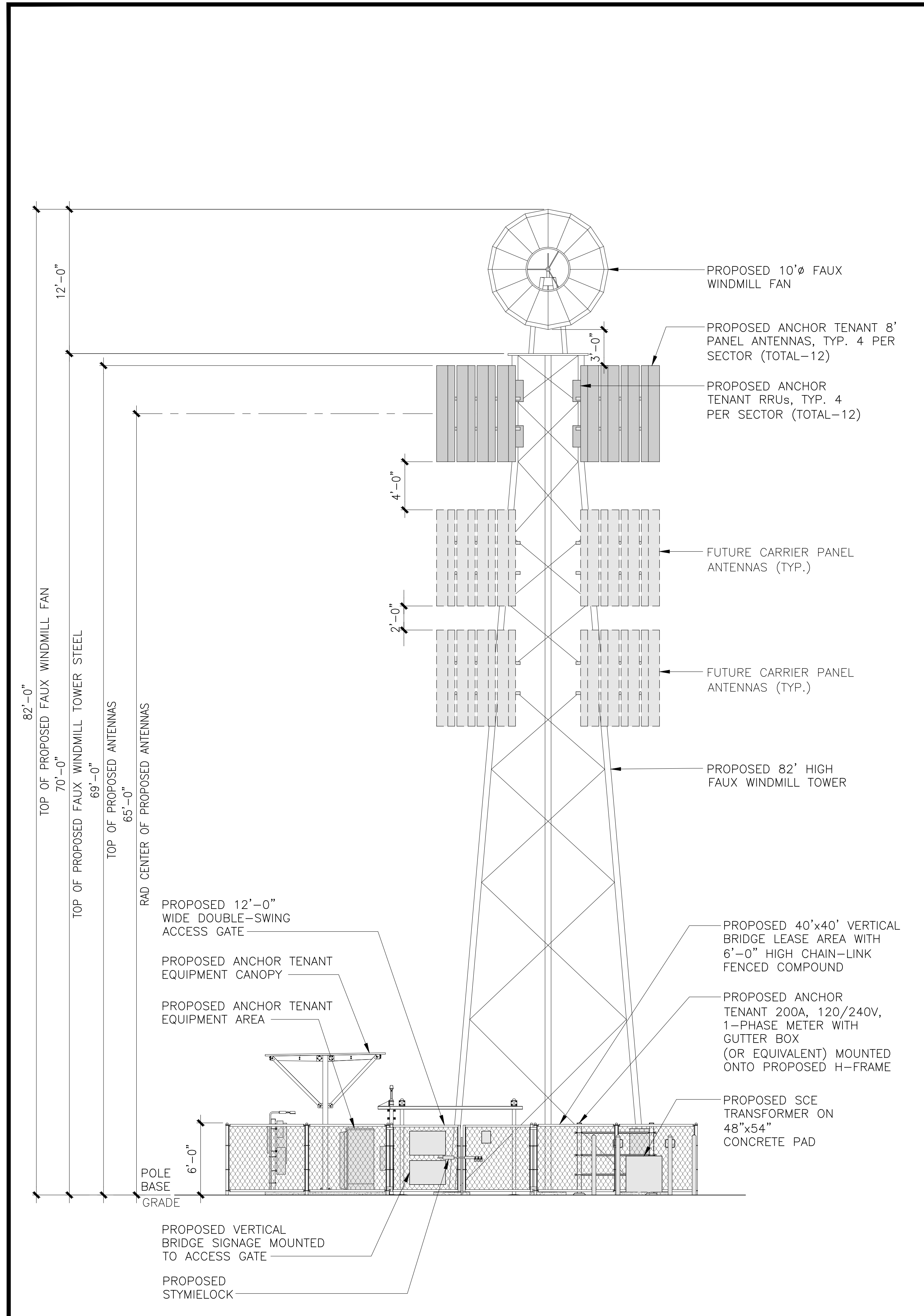
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**ELEVATIONS**

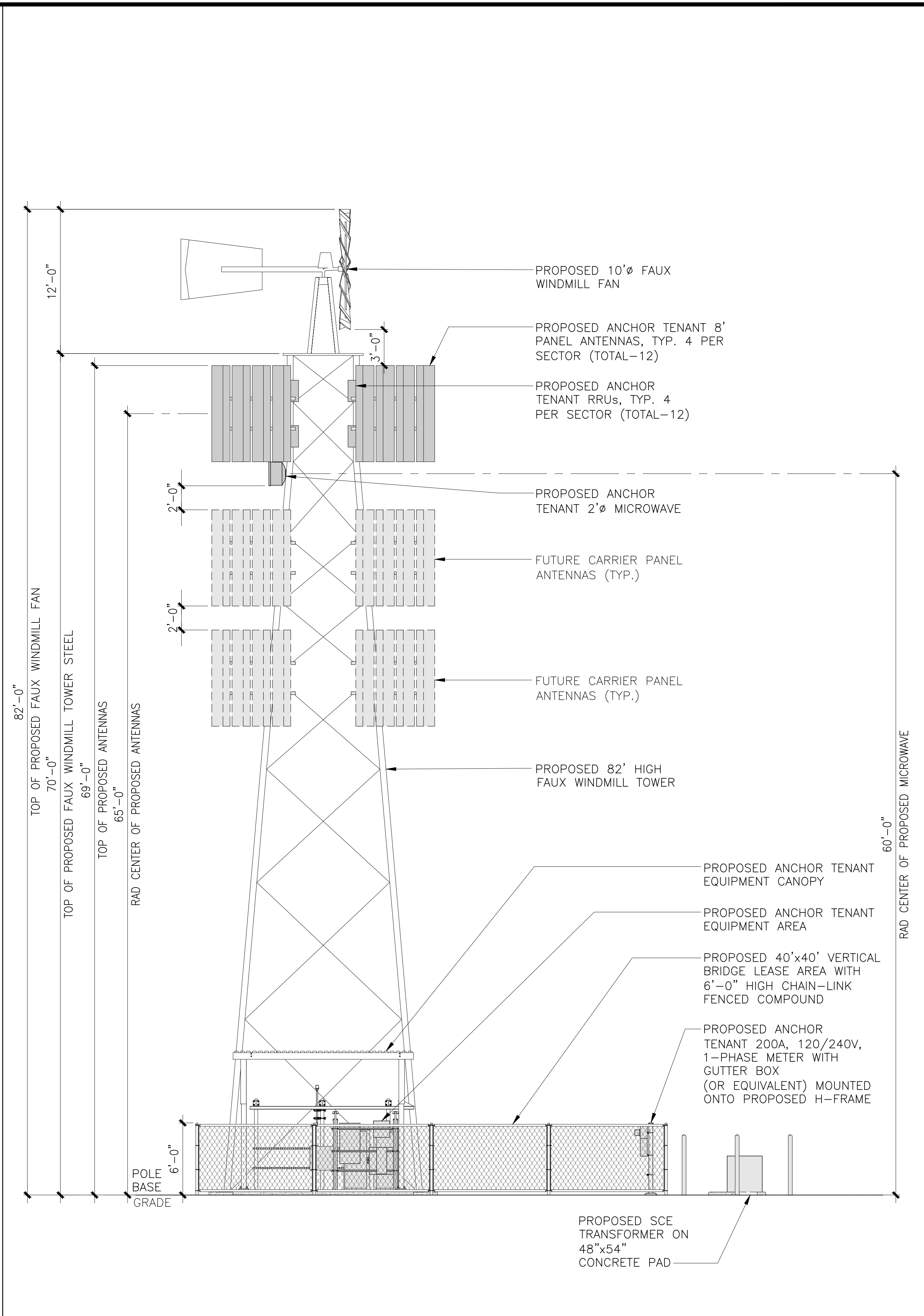
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 AS NOTED  
**ZD**  
 DATE:  
 09/08/25

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DRAWING NUMBER:  
**A4**



**SOUTH ELEVATION**  
 11"x17" SCALE: 3/32" = 1'-0"  
 24"x36" SCALE: 3/16" = 1'-0"  
 0 2' 4' 8'



**WEST ELEVATION**  
 11"x17" SCALE: 3/32" = 1'-0"  
 24"x36" SCALE: 3/16" = 1'-0"  
 0 2' 4' 8'