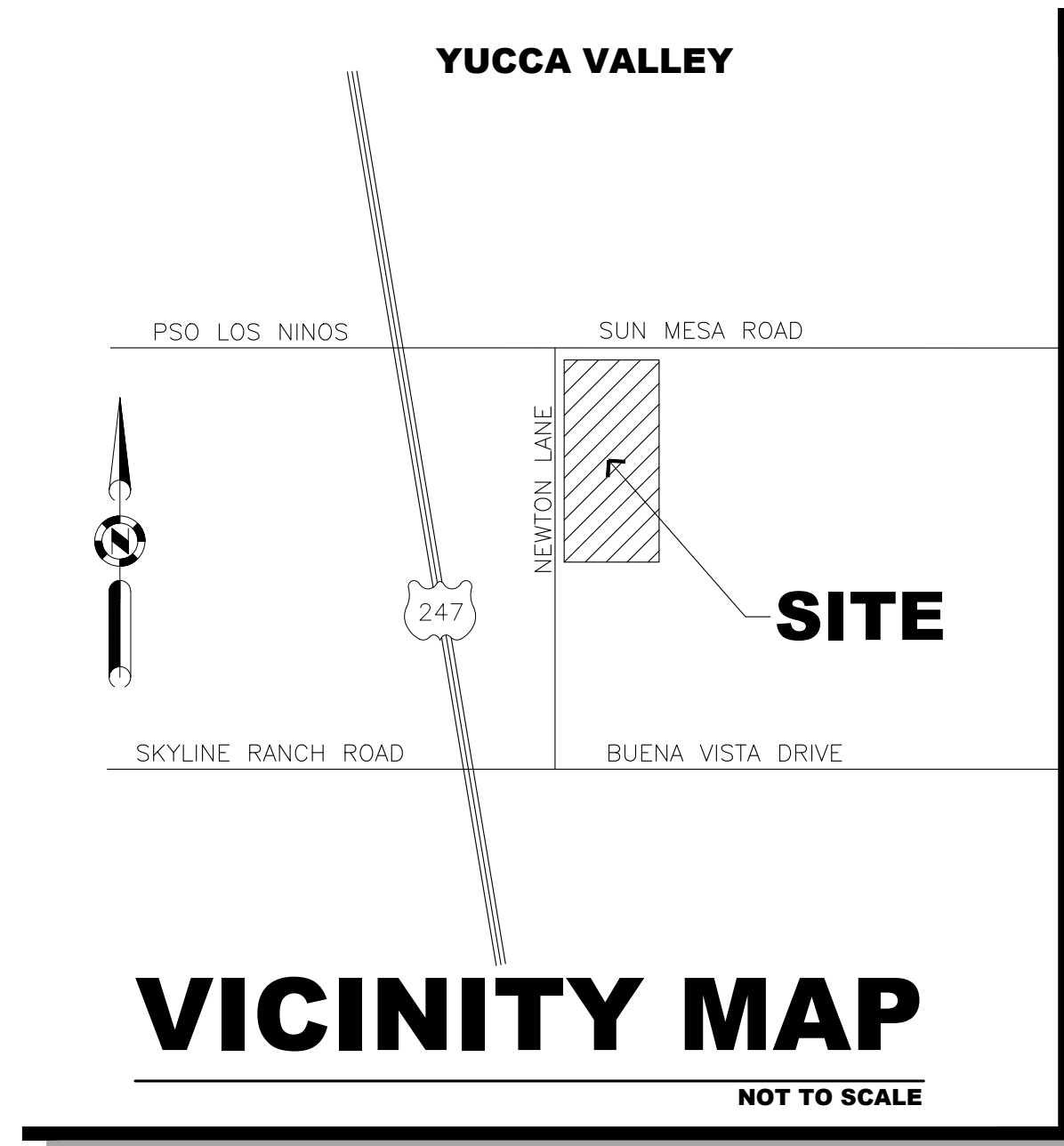

APPENDIX A
PROJECT PLANS

PROPOSED STORAGE UNIT FACILITY (MINI SELF STORAGE)

**SOUTH-EAST CORNER OF NEWTON LANE AND SUN MESA ROAD
YUCCA VALLEY
SAN BERNARDINO COUNTY, CA**

ABREVIATIONS:

AC:	Asphalt Concrete	HB:	Hose Bib
ACT:	Acoustical Ceiling Tile	HC:	Hollow Core
ADA:	Americans with Disabilities Act	HM:	Hollow Metal
ADD:	Additional	HORIZ:	Horizontal
ADJ:	Adjustable	HGT:	Height
AFF:	Above Finish Floor	HTR:	Heater
AHJ:	Authority Having Jurisdiction	HVAC:	Heating, Venting, Air Conditioning
ALUM:	Aluminum	IN:	Inch
APPX:	Approximately	INS:	Insulation
BD:	Board	INT:	Interior
BLDG:	Building	IRR:	Irrigation
BLK:	Block	JAN:	Janitor
BLKG:	Blocking	JT:	Joint Trench
BM:	Beam	LAV:	Lavatory
BO:	Bottom Of	LS:	Landscape
CALC:	Calculation	LGT:	Lighting
CBC:	California Building Code	LVT:	Luxury Vinyl Tile
CIP:	Cast-In-Place	MAX:	Maximum
CJ:	Control Joint	MECH:	Mechanical
CMU:	Concrete Masonry Unit	MFR:	Manufacturer
CL:	Centerline	MIN:	Minimum
CLG:	Ceiling	MISC:	Miscellaneous
CLR:	Clear	MTL:	Metal
CLO:	Closet	NIC:	Not In Contract
CO:	Clean Out	NTS:	Not To Scale
COL:	Column	NO:	Number
CONC:	Concrete	OC:	On Center
CONST:	Construction	OD:	Outside Diameter
CPT:	Carpet	OH:	Opposite Hand
CT:	Ceramic Tile	PC:	Polished Concrete
DET:	Detail	PL:	Proprietary Line
DS:	Decomposed Granite	PLAM:	Plastic Laminate
DIA:	Diameter	PT:	Paint
DN:	Down	PVC:	Polyvinyl Chloride
DR:	Door	QTY:	Quantity
DWG:	Drawing	R:	Radius
E:	Existing	RA:	Return Air
EA:	Each	RD:	Roof Drain
ENC:	Enclosure	RO:	Rough Opening
EJ:	Expansion Joint	REQD:	Required
EL:	Elevation	RM:	Room
ELEC:	Electrical	REV:	Revision
ELEV:	Elevation	SC:	Solid Core
EQ:	Equal	SECT:	Section
EQUIP:	Equipment	SHT:	Sheet
EV:	Eave Vent	SIM:	Similar
EXH:	Exhaust	SPEC:	Specification
EXP:	Expansion	STD:	Standard
EXT:	Exterior	STL:	Steel
FE:	Fire Extinguisher	SUSP:	Suspended
FEC:	Fire Extinguisher Cabinet	SQ:	Square
FD:	Floor Drain	STRUC:	Structural
FDN:	Foundation	STOR:	Storage
FIN:	Finish	THK:	Thick
FLR:	Floor	TEL:	Telephone
FOF:	Face Of Finish	TO:	Top Of
FTG:	Footing	Typ:	Typical
FIXT:	Fixture	UNQ:	Unless Noted Otherwise
FR:	Fire-Rated	VCT:	Vinyl Composition Tile
FT:	Feet	VERT:	Vertical
GA:	Gauge	WD:	Wood
GALV:	Galvanized	WC:	Water Closet
GC:	General Contractor	W/O:	With Out
GL:	Glass	WWM:	Welded Wire Mesh
GWB:	Gypsum Wall Board	WDW:	Window
GYP:	Gypsum		



LEGAL DESCRIPTION:

TR 8749, MB 120/50-64 SEC. 13, T1N, R5E., S.B.B.&M.
APN: 0597-111-67

BASIS OF BEARING :

THE SOUTHWEST 1/4 OF SECTION 13 PER TRACT 8749, MB 120/50-64 SAID BEARING BEING N00°00'08"E

BENCHMARK :

USGS BM 705 24
ELEVATION = 3718.55 FEET, NAVD 88

EARTHWORK VOLUMES:

TOTAL CUT - 4970 CY
TOTAL FILL - 4485 CY

* SEE EARTHWORK EXHIBIT FOR INFORMATION
ON CUT-FILL BY LOCATION MAP.

UTILITY COMPANIES

UTILITY PROVIDERS
WATER
HIGH DESERT WATER DISTRICT
55439 Twentynine Palms Highway, Yucca Valley, CA (760) 365-8333

SEWER
Private septic disposal

GAS
None applicable

ELECTRICITY
SOUTHERN CALIFORNIA EDISON
6999 Old Woman Springs Rd, Yucca Valley, CA 92284 (800) 655-4555

TELEPHONE
VERIZON CALIFORNIA
295 N Sunris Way, Palm Springs, CA 92262
(760) 778-3610

TV CABLE
TIME WARNER CABLE
73181 Mediterranean Rd, Palm Desert, CA 92211 (760) 674-5404

WASTE DISPOSAL
BURRTEC
4878 Newton Ln, Yucca Valley, CA 92284
(760) 365-2015

OWNER/DEVELOPER

ROB BILLINGS
5024 WALLABY STREET
YUCCA VALLEY, CA 92284
760-686-4171
BILLINGSTRANSFER@YAHOO.COM

TOPOGRAPHY:

PREPARED BY:
LSAP CONSULTANTS LLC.
ADDRESS: 14997 MCGARGER RD
DESERT HOT SPRINGS, CA 92240
(760) 288-2232
SURVEY@LSAPCONSULTANTS.COM
DATE OF SURVEY: JAN 2022

ENGINEER OF RECORD

DRP ENTERPRISES LLC
Daniel Patneau
MAILING ADDRESS:
PO Box 4428
Palm Springs, CA 92263
206-734-7765
DPATNEAU@DRPENTERPRISESLLC.ORG
WWW.DRPENTERPRISESLLC.ORG
Joanne C. Singer RCE 26900
760-625-7426

DEVELOPMENT STATISTICS

FOR:
**BILLINGS MINI STORAGE
S.E.C. NEWTON LANE AND SUN MESA
YUCCA VALLEY, CA**

LEGAL DESCRIPTION:	TR 8749, MB 120/50-64 SEC. 13 T1N, R5E., S.B.B.&M.
APN	0597-111-67-0000
TOTAL SITE AREA Gross- Net	189,050 SQ. FT.
Dedications already in place:	4.34 ACRES
ADDRESS:	T.B.D. S.E.C. NEWTON AND SUN MESA, YUCCA VALLEY CA
ZONING: GPLU	C COMMERCIAL
EXISTING AND PROPOSED ZONING	COMMERCIAL
EXISTING AND PROPOSED GPLU	C - COMMERCIAL
EXISTING LAND USE	VACANT LOT
PROPOSED LAND USE	NEW STORAGE UNIT FACILITY (MINI STORAGE)
TYPE OF SEWAGE DISPOSAL	SEPTIC/LEACH FIELD
YUCCA VALLEY GEOHAZARD	MAP F121C (SEE NEXT SHEET FOR MAP)
FEMA	NO IMPACTS
ZONE X	PANEL 06071C8120H 8-28-2008
ZONE X	NO FLOOD DEPTHS OR HAZARDS NOTED OR MAPPED

SCOPE OF WORK: PROPOSED STORAGE UNIT (MINI STORAGE) FACILITY WITH OFFICE MANAGER UNIT. PROJECT TO PROPOSE 6 BUILDING TYPES WITH A TOTAL OF 89,700 S.F. STORAGE. PROJECT PROPOSES BLOCK WALL AND LIGHTING, LANDSCAPE AND OFFSITE IMPROVEMENTS. ALL STORAGE TO BE ENCLOSED. NO OPEN STORAGE IS PROPOSED.

OWNER APPLICANT:	REPRESENTATIVE:
ROB BILLINGS 5024 WALLABY STREET YUCCA VALLEY, CA 92284 (760) 686-4171 billingstransfer@yahoo.com	DRP ENTERPRISES LLC DAN PATNEAU P.O. BOX 4428 PALM SPRINGS, CA 92263 (206) 734-7765 dpatneau@drpenterprisesllc.org

PER MUNICODE SEC. 9.10 INDUSTRIAL DISTRICTS	MAX. FENCE HT
SETBACKS:	
FRONT:	15'-0" 8'-0" MAX.
REAR:	0' 10'-0" MAX.
SIDE:	0' 10'-0" MAX.
STREET SIDE:	15'-0" 10'-0" MAX.

PER MUNICODE SEC. 9.14.060 MINI/SELF-STORAGE FACILITIES
ALLOWABLE BUILDING HEIGHT:
20'-0" ONE STORY

AREAS:	400 S.F. ONE STORY OFFICE/MANAGER UNIT 89,700 S.F. STORAGE UNIT TOTAL 89,700 s.f. / 220,786 s.f. = 0.406 40.6% < 70% ∴ FAR o.k.
FAR: 70% MAX.	

TYPES:	UNIT COUNT:				TOTAL S.F. PER BLDG.	NO. BLDG. TYPES	TOTAL S.F. PER BLDG. TYPE
	5X10 50 S.F.	10x20 200 S.F.	20x20 400 S.F.	25x20 500 S.F.			
TYPE "A"	16	20	-	-	4,800 S.F.	10	48,000 S.F.
TYPE "B"	16	-	10	-	4,800 S.F.	6	28,800 S.F.
TYPE "C"	-	-	-	10	5,000 S.F.	1	5,000 S.F.
TYPE "D"	-	-	-	15	7,500 S.F.	1	7,500 S.F.
TYPE "E"	-	-	1	-	400 S.F.	1	400 S.F.
TOTAL UNITS	256	200	60 MGR. UNIT NOT INCL.	25			TOTAL S.F. 89,700 S.F.

PARKING REQUIREMENTS:

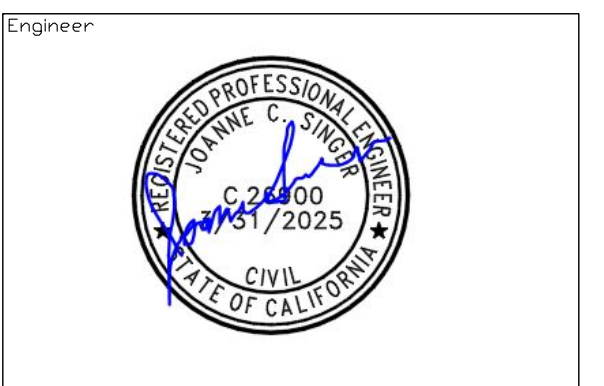
PER MUNICODE SEC. 9.33.040-C, TABLE 3-7	REQUIRED:	PROVIDED:
MINI/SELF-STORAGE FACILITIES:		
STANDARD 9X19 PARKING STALLS:		
6 SPACES + 2 CARETAKERS	8	8
ACCESSIBLE STALLS:	1 reqd	
STANDARD:	1	1
VAN:	1	1
		10
LOADING SPACES: ONE PER PER 20,000 S.F. 10 FT X 20 FT:	5	5
TOTAL PARKING ON SITE:	8	10
NOTE: ALL PARKING STALLS SHALL BE 9'-0" x 19'-0" MIN. BACKUP-1 WAY ISLES SHALL BE MIN. 12'-0" WIDE, PER CITY STANDARDS. BACKUP-2 WAY ISLES SHALL BE MIN. 25'-0" WIDE, PER CITY STANDARDS.	REQUIRED	PROVIDED

SHEET INDEX

PAGE #	SHEET NUMBER	SHEET INDEX
01	C-1.0	COVER SHEET THIS SHEET
02	T-1.0	SITE PLAN
03	T-1.1	ENLARGED SITE PLAN
04	T-1.2	ENLARGED SITE PLAN
05	T-2.0	FLOOR PLANS
06	T-3.0	ELEVATIONS
07	T-4.0	COLOR ELEVATIONS
08	T-4.1	MANAGERS UNIT COLOR ELEVATIONS
09	T-4.2	SAMPLE COLOR PERSPECTIVE ELEVATIONS
10	T-5.0	COLOR BOARDS
11	T-6.0	LANDSCAPE PLAN

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No.	Revision / Issue	Drawn by	Checked by	Date
	PRELIMS		DRP/JS	08-03-22



Project Designer
ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

Project
**PROPOSED
MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN
MESA ROAD**

SCALE
1" = 40'-0"

Project Number & Sheet Number

C-1.0

9.14.060: MINI-/SELF-STORAGE FACILITIES:

A. General: The only commercial activities permitted on the site of a self-service storage facility shall be rental of storage bays and pick up and deposit of goods and/or property in dead storage. Storage bays shall not be used to: manufacture, fabricate or process goods; service or repair vehicles, boats, small engines or electrical equipment, or to conduct similar repair activities; conduct garage sales or retail sales of any kind; or conduct any other commercial or industrial activity on the site.

B. Security Quarters Permitted: Residential quarters for security purposes may be established on the site.

C. Bays Have No Legal Address: Individual storage bays or private postal boxes within a self-service storage facility shall not be considered a premises for the purpose of assigning a legal address in order to obtain an occupational license or other governmental permit or license to do business.

D. Outside Storage:

1. Except as provided in this section, all property stored on site shall be entirely within enclosed buildings.

2. Open storage of private recreational vehicles and dry storage of recreational boats for personal use shall be permitted within a self-service storage facility provided that the following is met:

a. Such storage shall take place only within a designated area. The area so designated shall be clearly delineated upon the site plan accompanying the application;

b. The open storage area shall not exceed twenty five percent (25%) of the buildable area of the site;

c. The open storage area shall be entirely screened from view from adjacent residential areas and all street rights of way by a solid building wall or a masonry wall with a minimum height of eight feet (8');

d. Vehicles shall not be stored within the area set aside for minimum building setbacks; and

e. No vehicle maintenance, washing or repair shall be permitted on site. Recreational boats stored on the site shall be placed and maintained upon wheeled trailers. No dry stacking of boats shall be permitted on site.

E. Minimum Lot Size: Notwithstanding any other provision of this code the minimum lot size for a self-storage facility shall be one acre.

F. Separation Between Storage Buildings: If separate buildings are constructed, there shall be a minimum ten foot (10') setback between individual buildings within the facility.

G. Maximum Bay Size: The maximum size of a storage bay shall be five hundred (500) square feet.

H. Maximum Building Height: With the exception of a structure used as a security quarters, the maximum height of a self-service storage facility shall be one story. The height of the building shall not exceed twenty feet (20'), except for any architectural features located along the street entrance to the facility. In addition, a parapet wall shall be constructed to screen roof mounted air conditioning and other equipment, if any. The combined height of the building and the parapet wall shall not exceed twenty five feet (25').

I. Parking Requirements: See, "Parking And Loading Regulations", of this title for mini-storage parking requirements.

J. Miscellaneous Requirements:

1. Outdoor Lighting: All outdoor lighting shall meet the requirements of title 8, "Outdoor Lighting", of this code.

2. Loudspeakers: Exterior loudspeakers or paging equipment shall not be permitted on the site.

3. Bay Doors: Storage bay doors shall not face any abutting property which is residentially zoned, nor shall they be visible from any adjacent residential property or any street right of way.

4. Barbed Wire: Barbed or similar wire may be used for security purposes, but it shall not be visible from any adjacent residential property or any street right of way.

5. Architectural Treatment: The exterior facades of all structures shall receive uniform architectural treatment, including stucco and painting of surfaces. All structures adjacent to properties designated with a residential land use shall have a pitched roof or other treatment comparable to the adjacent residential development. (Ord. 253, 12-16-2014)

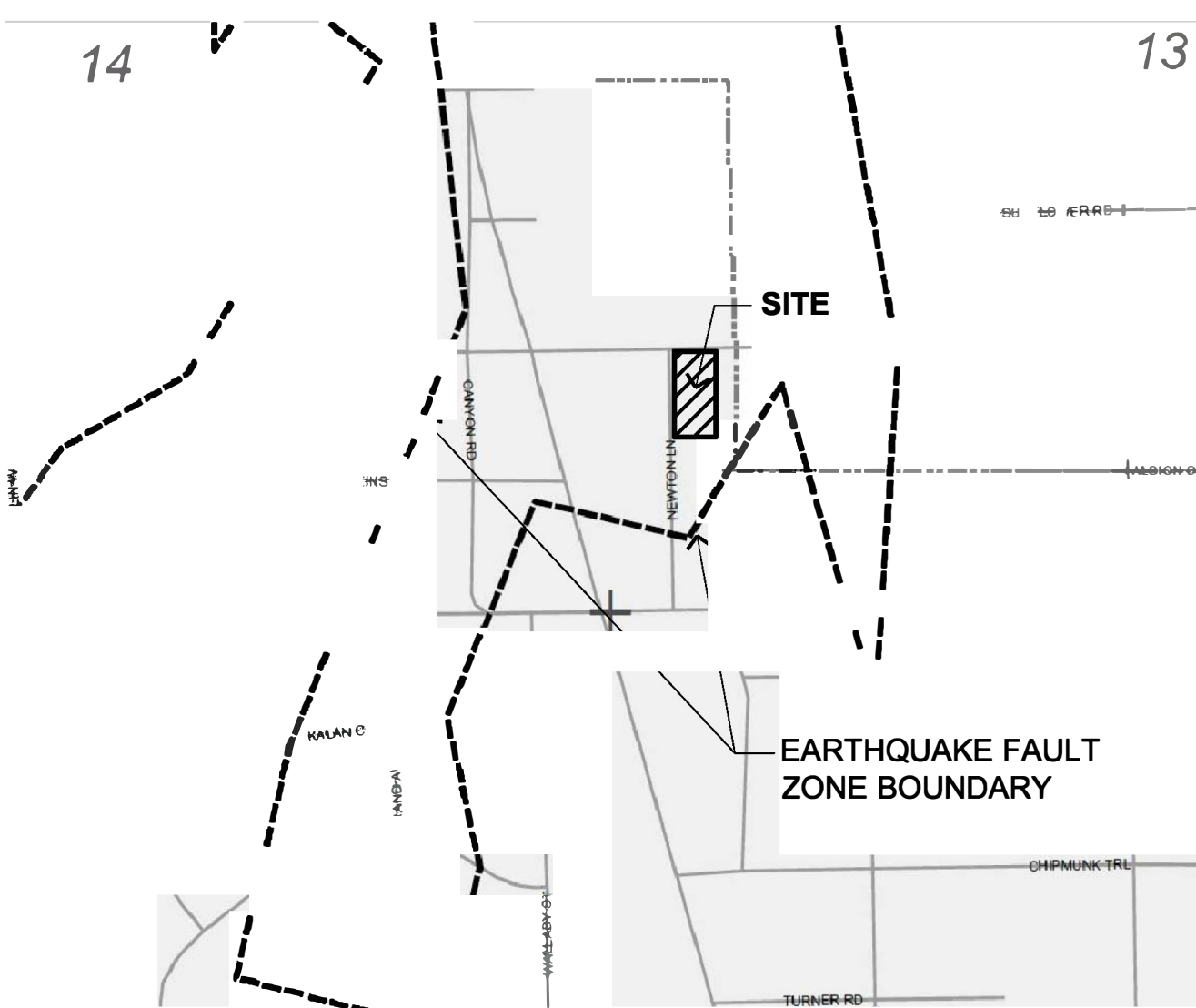
LEGEND:

→ ARROWS INDICATE DRAINAGE PATTERN TO BASIN (SEE CIVIL DWGS FOR ADD'L INFO)

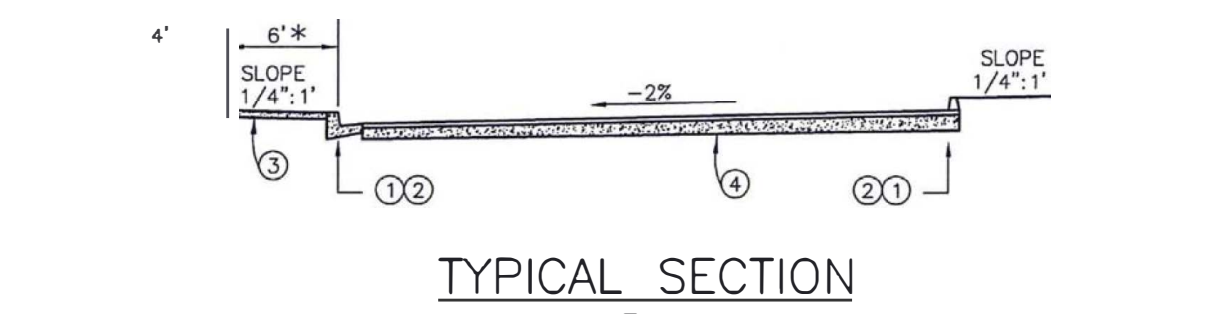
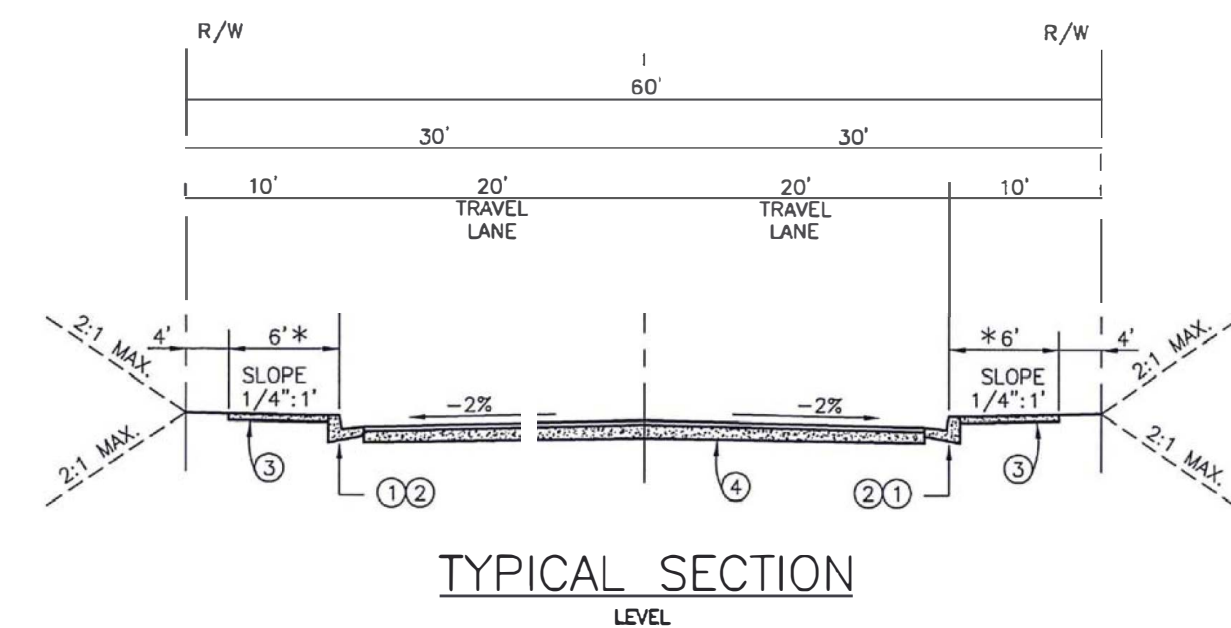
- ① STANDARD 9 FT X 19 FT. PARKING STALL W/ 6" WIDE X 48" LONG WHEEL STOP
- ② ACCESSIBLE PARKING STALL 2% MAX. SLOPE
- ③ ACCESS AISLE, 2% SLOPE AND CROSS SLOPE
- ④ DECOMPOSED GRANITE
- ⑤ 400 S.F. MANAGER UNIT OFFICE SPACE
- ⑥ ROLLING SECURITY GATES
- ⑦ ACCESSIBLE ROUTE, MIN 4' WIDE NOT TO EXCEED 5% SLOPE, 2% CROSS SLOPE
- ⑧ TRASH ENCLOSURE PER CITY STANDARDS
- ⑨ LIGHT STANDARD, TYP. AS SHOWN - PER CITY STANDARDS
- ⑩ WALL PACK, TYP. AS SHOWN
- ⑪ ASPHALT CONCRETE SURFACE, DRAIN TO BASIN, SEE CIVILS DRAWINGS
- ⑫ CONC. CURB AND GUTTER - PER CITY STANDARDS
- ⑬ 6" DIA. CONC. FILLED BOLLARDS AS SHOWN, EMBEDDED MIN. 36" INTO GROUND
- ⑭ CONC. PAD AT NEW ELECTRICAL SERVICE LOCATION TBD
- ⑮ CONC. CURB
- ⑯ PERIMETER CMU WALL, 6 FT. MAX. HT.
- ⑰ CMU WALL WITH DRAINAGE OPENINGS MADE OF W.I. FENCE (TBD)
- ⑱ DECORATIVE ROCK LANDSCAPING: LARGE RIVERROCK W/ RANDOM BOULDERS
- ⑲ RETENTION BASIN
- ⑳ 20 FT WIDE FIRE LANE
- ㉑ 10FT X 20 FT LOADING ZONE, TYP. AS SHOWN
- ㉒ LEACH FIELD, SEE CIVIL DRAWINGS
- ㉓ SEWER LINE, SEE CIVIL DRAWINGS
- ㉔ WATER LINE, SEE CIVIL DRAWINGS
- ㉕ ELECTRICAL LINE TO PULL DROP ON NEWTON LN, SEE CIVIL DRAWINGS

NOTES:

1. THE SITE IS NOT LOCATED WITHIN A RESOURCE AREA AS IDENTIFIED IN THE ARCHEOLOGICAL AND HISTORICAL RESOURCE ELEMENT OF THE GENERAL PLAN.
2. THE SITE DOES NOT CONTAIN ANY NATURAL, ECOLOGICAL AND OR SCENIC RESOURCES.
3. THE SITE DOES NOT CONTAIN DRAINAGE SWALES AND OR CHANNELS THAT BORDE OR CROSS THE SITE.
4. THE SITE IS NOT LOCATED NOR PROPOSED SLOPES OF FIFTEEN PERCENT (15%) OR MORE AND DOES NOT PROPOSE FILLS OF FIFTEEN PERCENT (15%) OR MORE.
5. NO POTENTIAL WELLS, HAZARDS, ETC. WERE FOUND DURING SITE INVESTIGATION.
6. SITE IS LOCATED IN MAP F121C OF GEOHAZARD MAP FOR YUCCA VALLEY, SEE PARTIAL MAP THIS SHEET FOR LOCATION AND BOUNDARIES.
7. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND ALL PROPERTY LINE AND BOUNDARIES.



PARTIAL F121C FAULT ZONE MAP



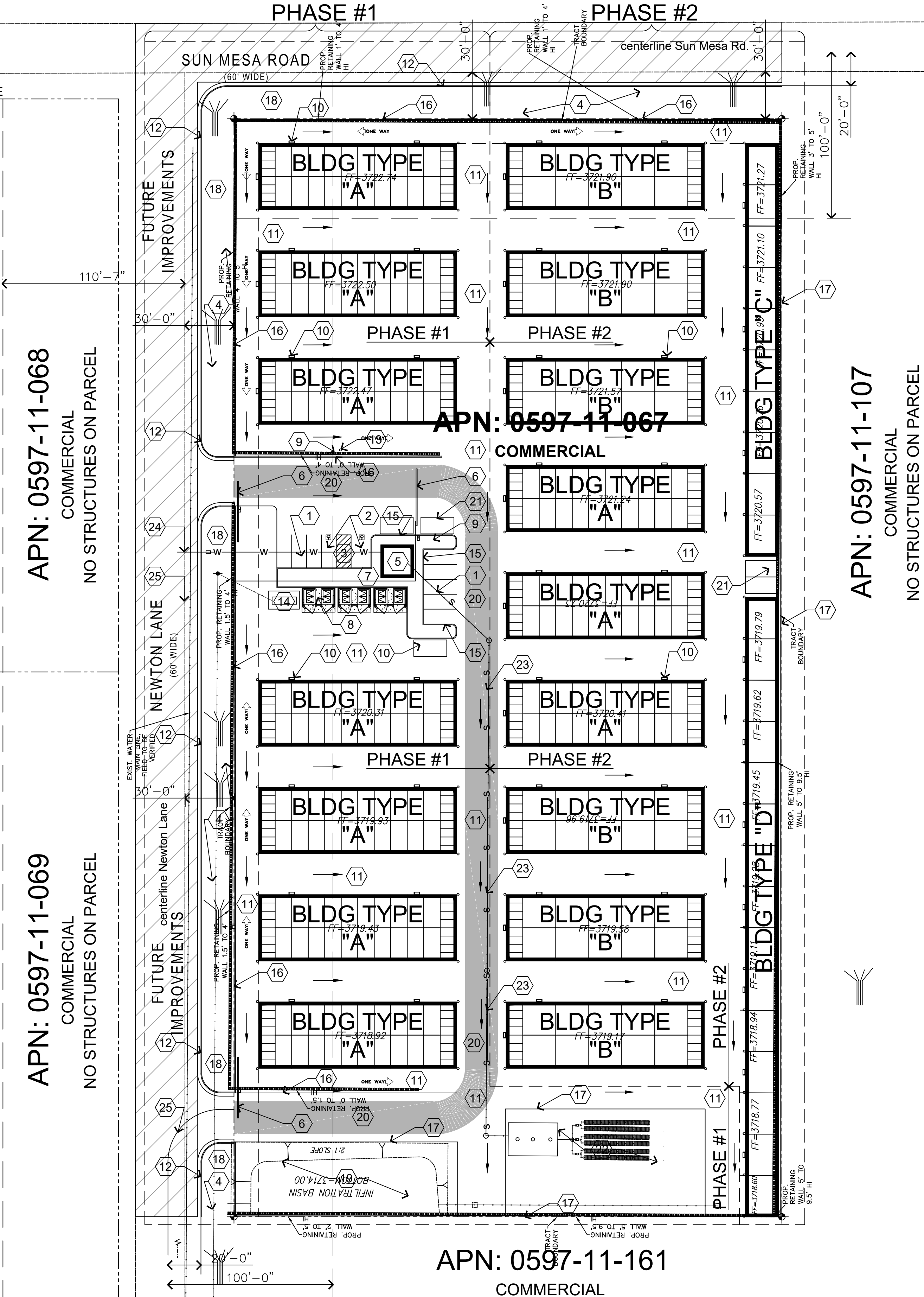
- NOTES:**
- ① CURB AND GUTTER PER STD. DWG. NO. 200
 - ② A.C. DIKE PER STD. DWG. NO. 202 **
 - ③ SIDEWALK PER STD. DWG. NO. 220
 - ④ PAVEMENT SECTION PER STD. DWG. NO. 240
- * SIDEWALK REQUIREMENT PER DEVELOPMENT CODE
 ** LIMITED USE, SHORT TERM IMPROVEMENT PROJECTS

APPROVED: DIRECTOR OF PUBLIC WORKS
 DATE 11/17/16
 APPROVED: TOWN ENGINEER
 R.C.E. 39827
 REVISED TO REFLECT CURRENT GENERAL PL. I-N-9/24/16



APN: 0597-11-103

RURAL INDUSTRIAL
 NO STRUCTURES ON PARCEL



APN: 0597-11-161
 COMMERCIAL

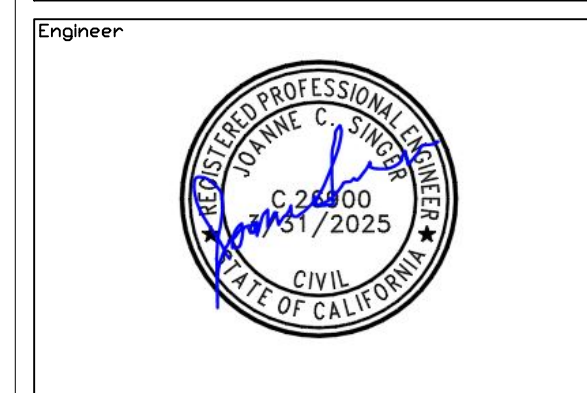


OVERALL SITE PLAN



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No.	Revision / Issue	Drawn By	Checked by	Date
PRELIMS			DRP/JS	08-03-22



Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
 S.E. CORNER
 NEWTON LANE AND SUN
 MESA ROAD

SCALE
 1" = 40'-0"

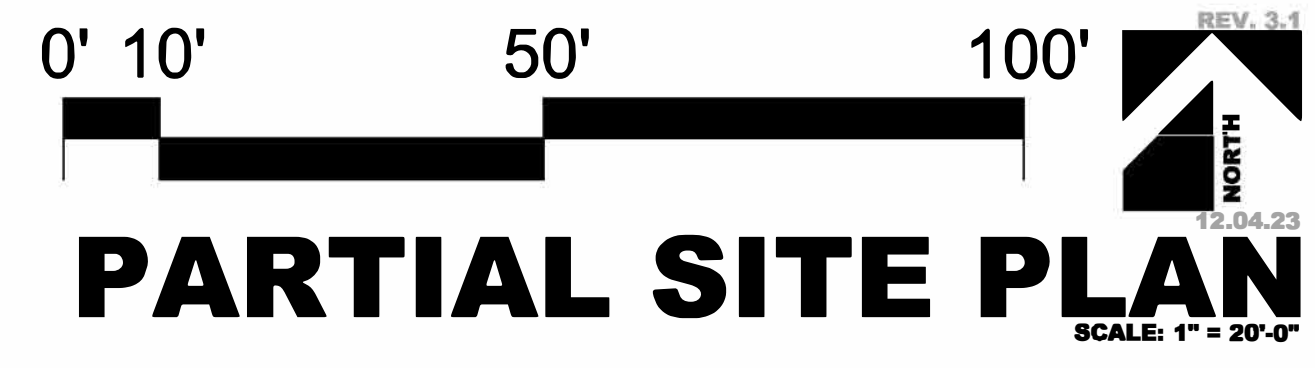
Project Number & Sheet Number
T-1.0



SUN MESA ROAD
(60' WIDE)

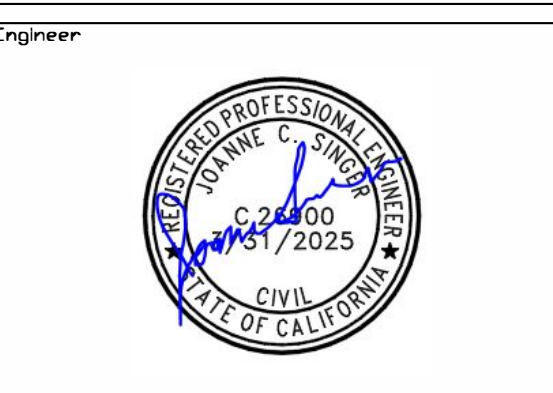
NEWTON LANE

NEWTON LANE
(60' WIDE)



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	PRELIMS		DRPLUS	08-03-22



Project Owner
ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

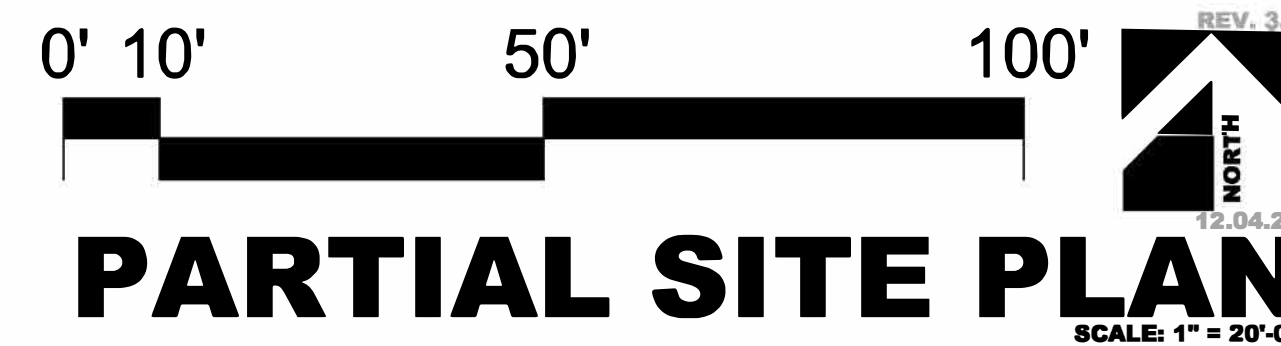
Project
PROPOSED MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN MESA ROAD

SCALE
1" = 20'-0"

Project Number & Sheet Number
T-1.1

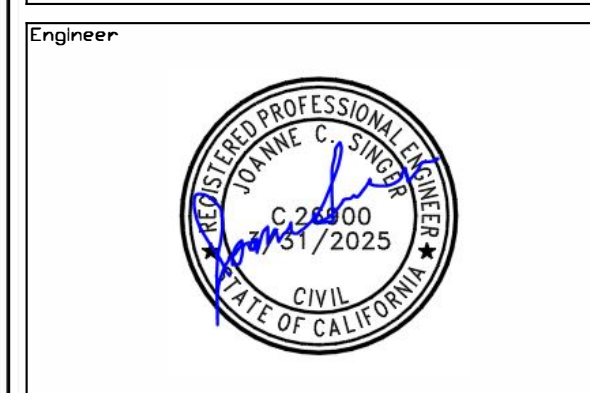
NEWTON LANE

(60' WIDE)



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	PRELIMS		DRPLUS	08-03-22

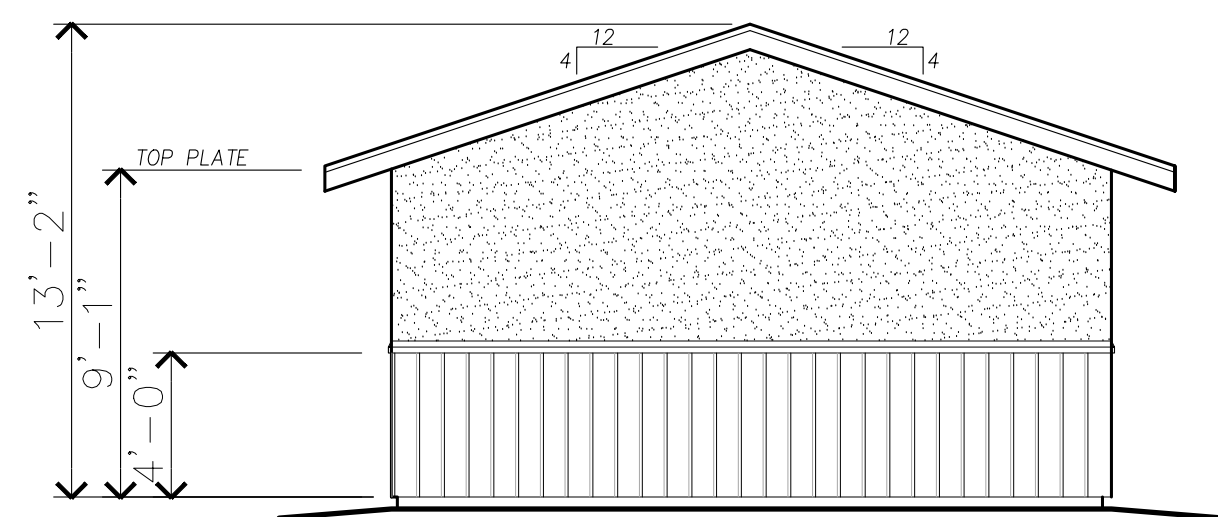


Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

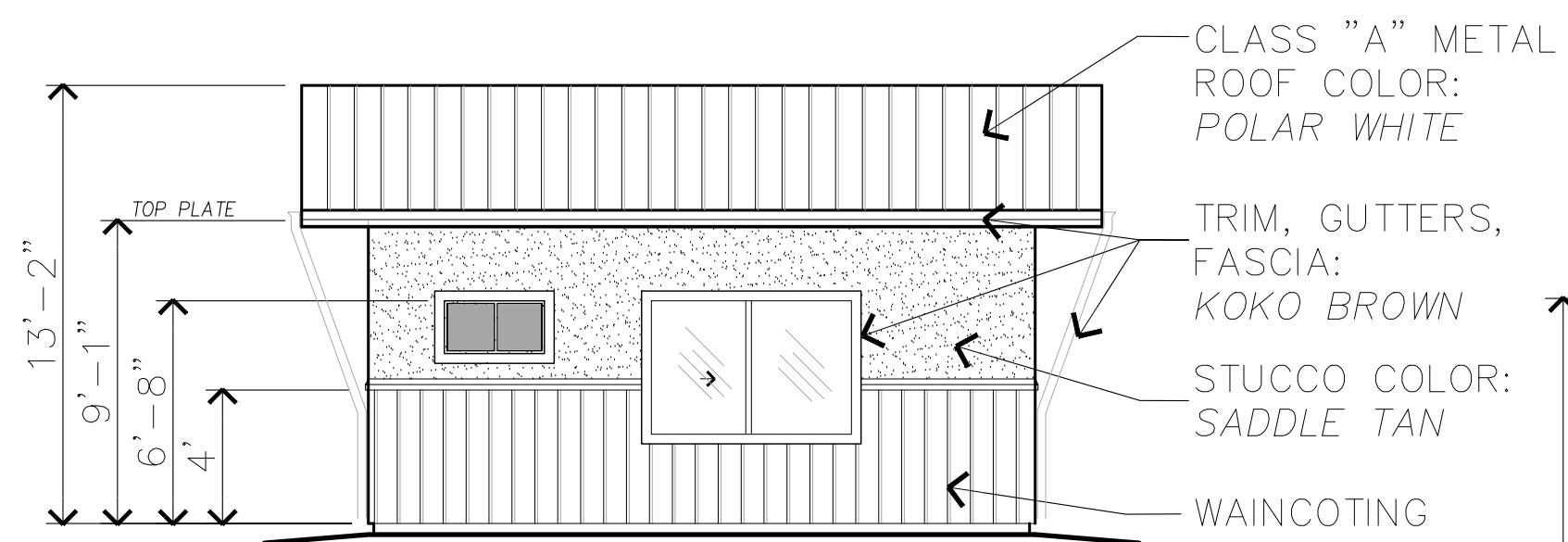
Project
PROPOSED MINI STORAGE
 S.E. CORNER
 NEWTON LANE AND SUN MESA ROAD

SCALE
 1" = 20'-0"

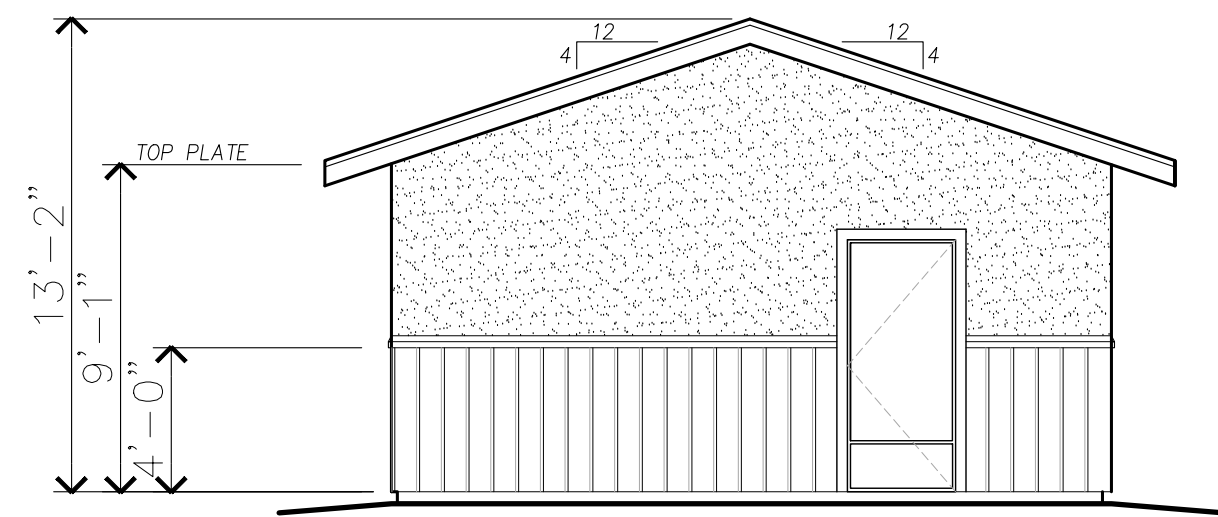
Project Number & Sheet Number
T-1.2



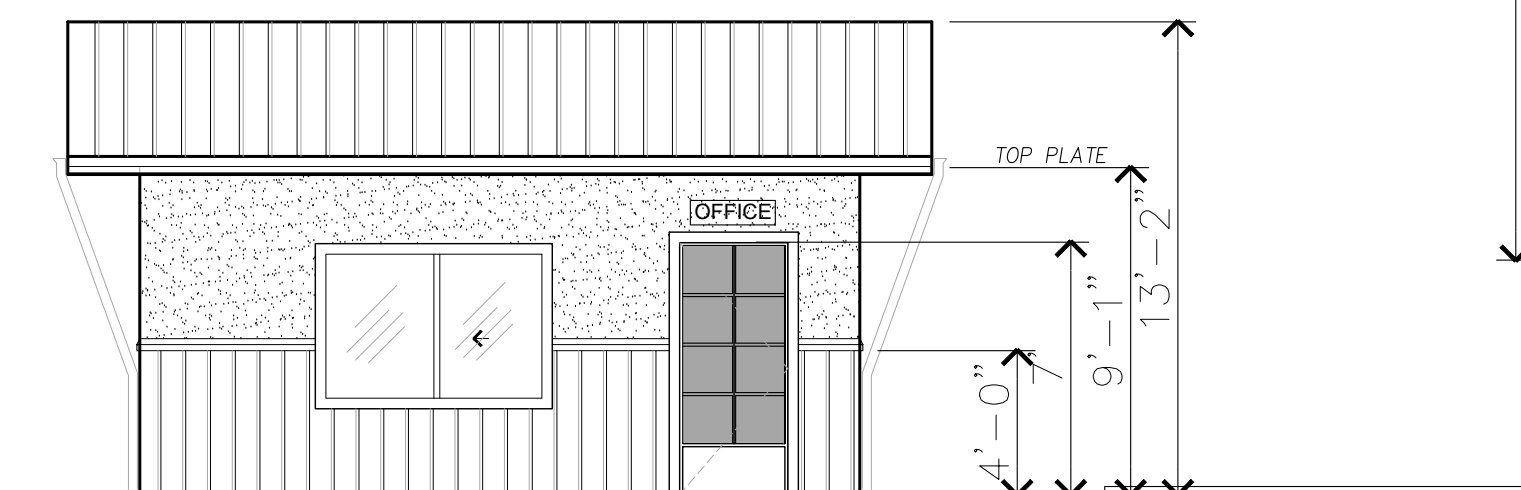
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



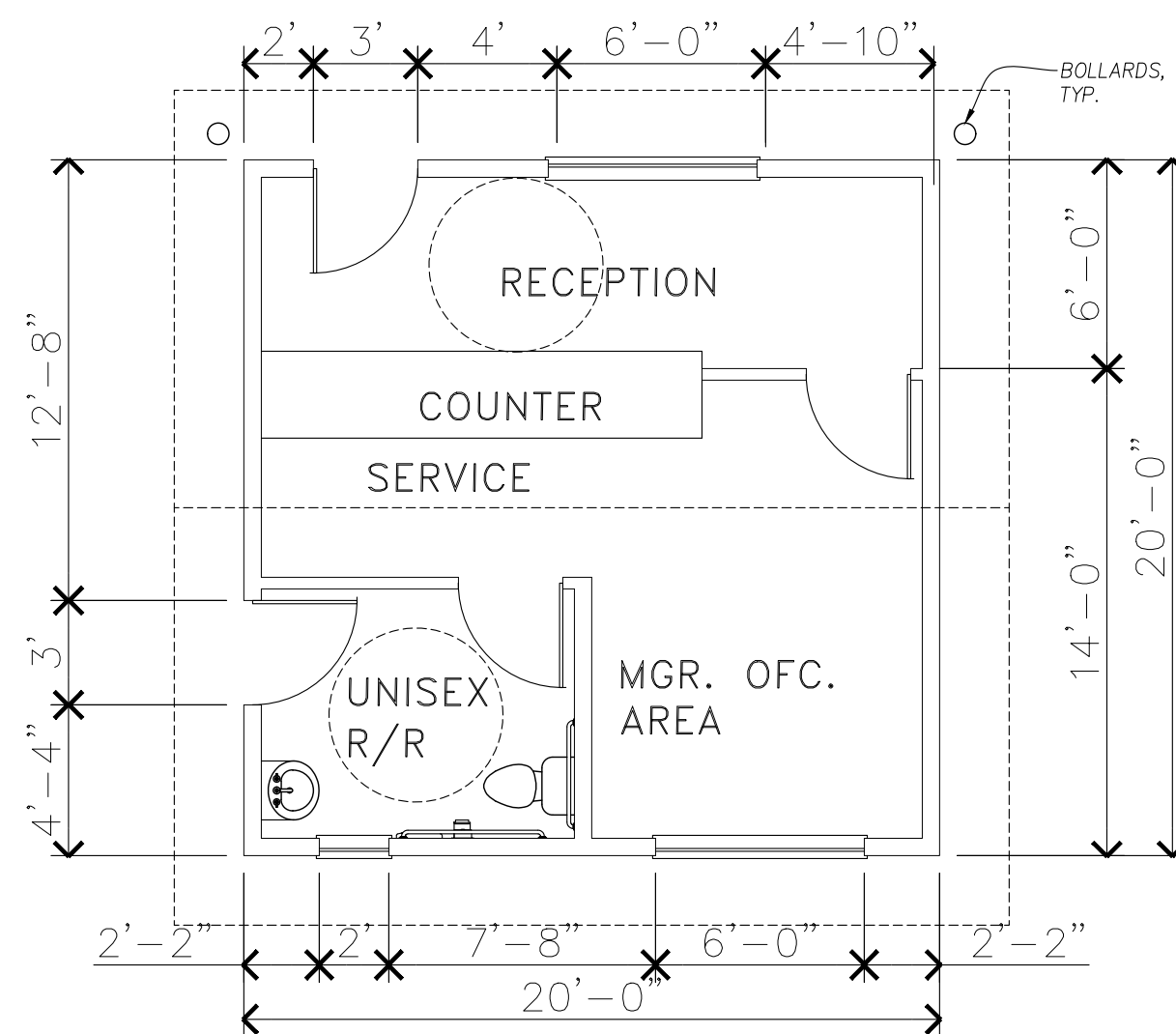
NORTH ELEVATION

CLASS "A" METAL ROOF COLOR: POLAR WHITE
 TRIM, GUTTERS, FASCIA: KOKO BROWN
 STUCCO COLOR: SADDLE TAN
 WAINCOTING COLOR: CHARCOAL GRAY

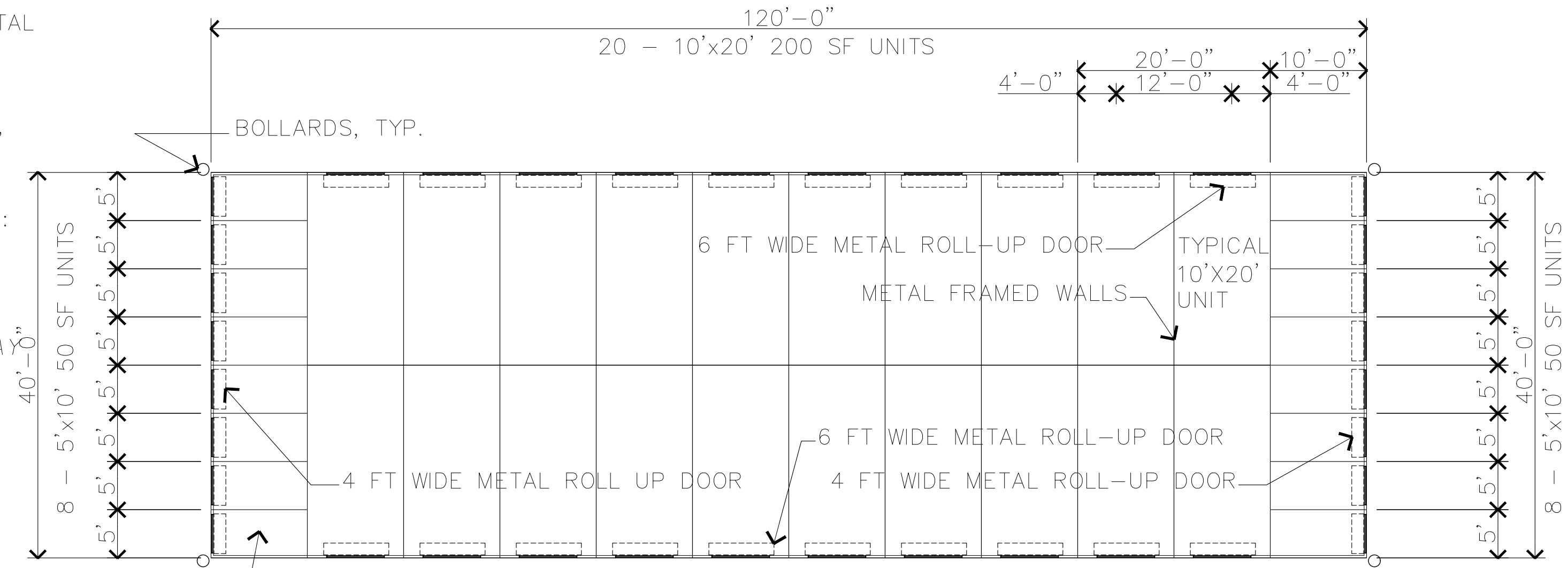
ALL COLORS: EMPIRE SIGNATURE 200 STANDARD COLORS

NOTES:

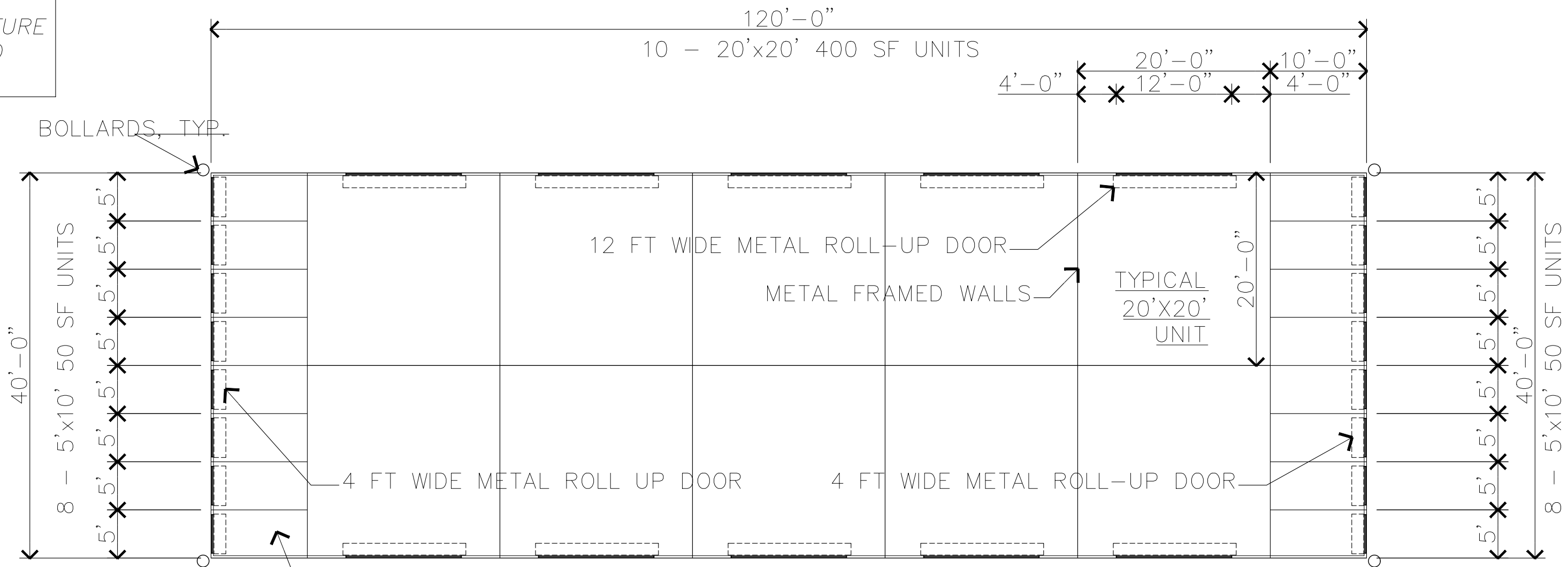
1. CLASS "A" STANDING SEAM METAL ROOF, COLOR POLAR WHITE
2. GUTTERS AND DOWNSPOUTS COLOR: KOKO BROWN
3. BOLLARDS TO BE YELLOW REFLECTIVE AND OR WITH REFLECTED STRIPES.



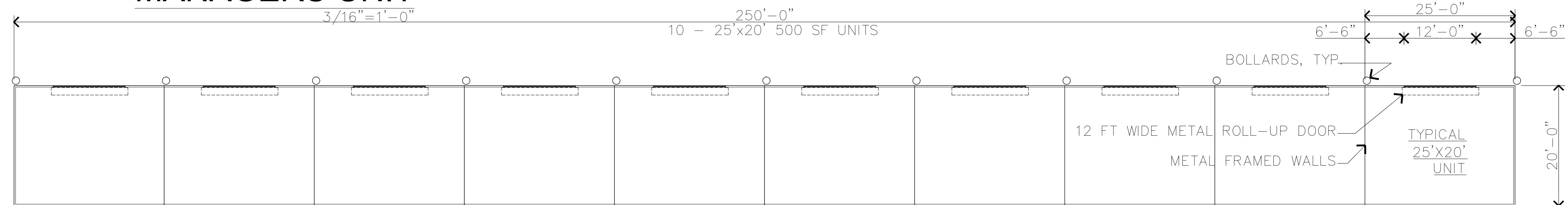
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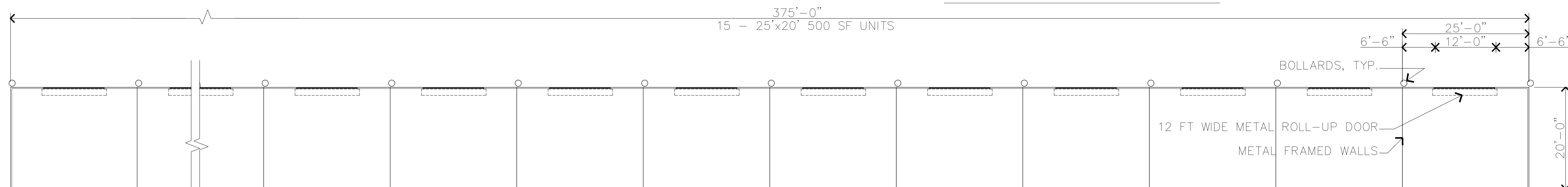
BLDG TYPE "A"



BLDG TYPE "B"



BLDG TYPE "C"



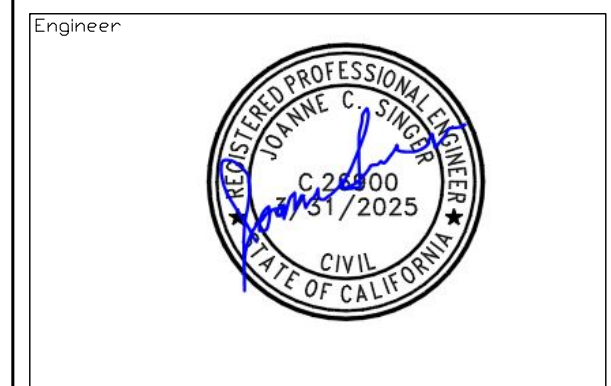
BLDG TYPE "D"

FLOOR PLANS

SCALE: 3/32" = 1'-0"

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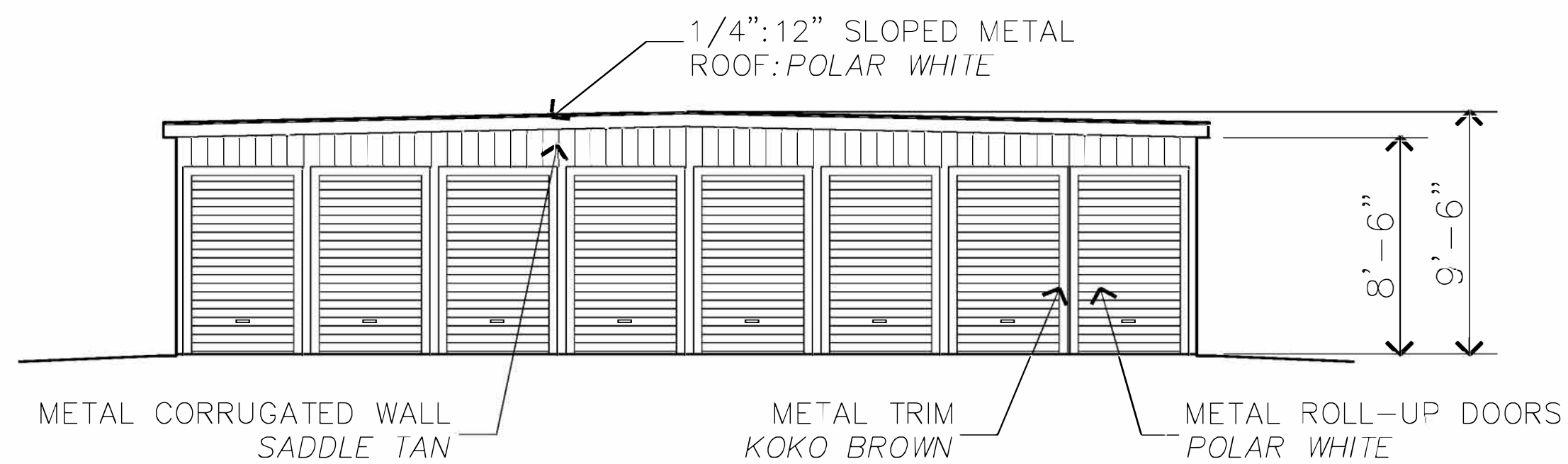
Project Designer
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
 S.E. CORNER
 NEWTON LANE AND SUN MESA ROAD

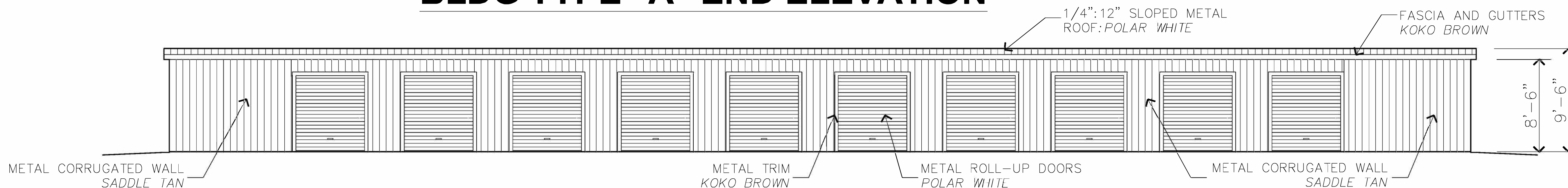
SCALE
 3/32" = 1'-0" U.N.O.

Project Number & Sheet Number

T-2.0

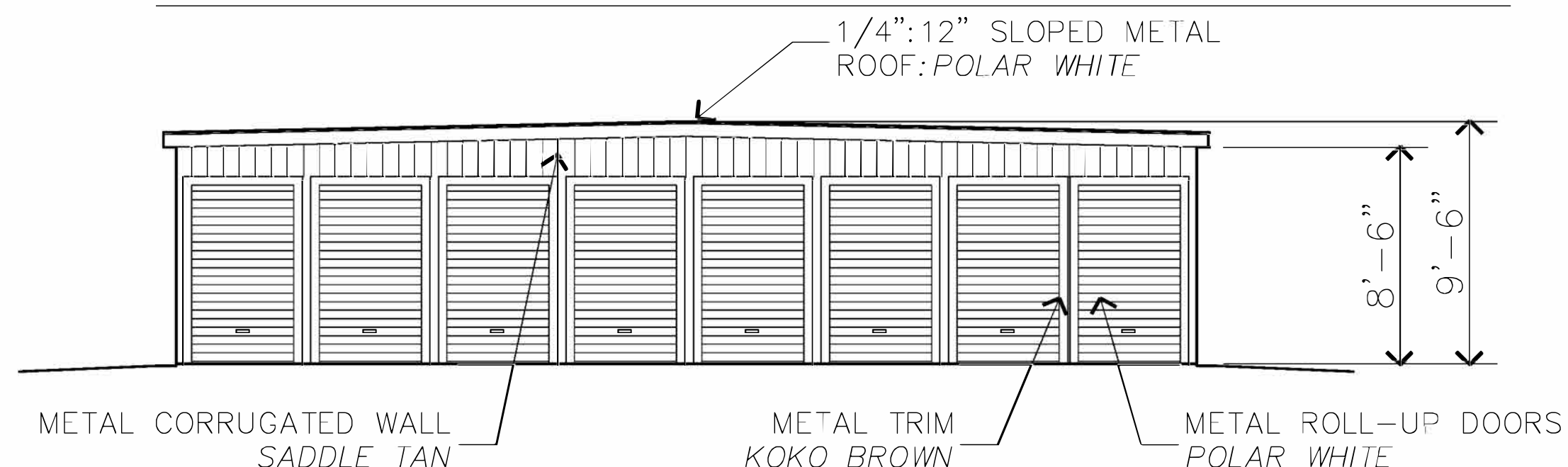


BLDG TYPE "A" END ELEVATION

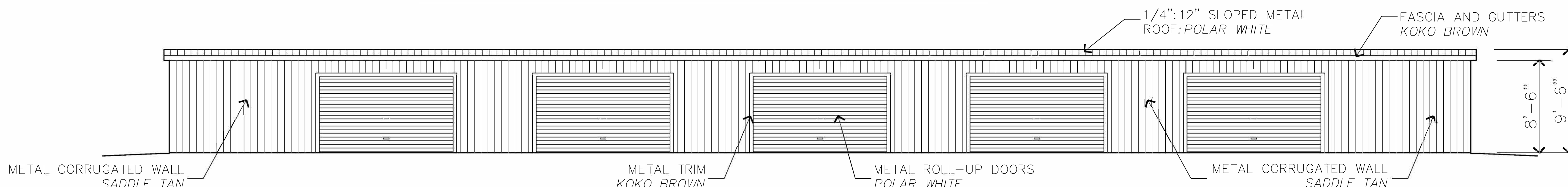


BLDG TYPE "A" SIDE ELEVATION

NOTE: ONE ELEVATION SHOWN FOR SIDE AND END ELEVATIONS AS OPPOSITE ELEVATIONS ARE IDENTICAL

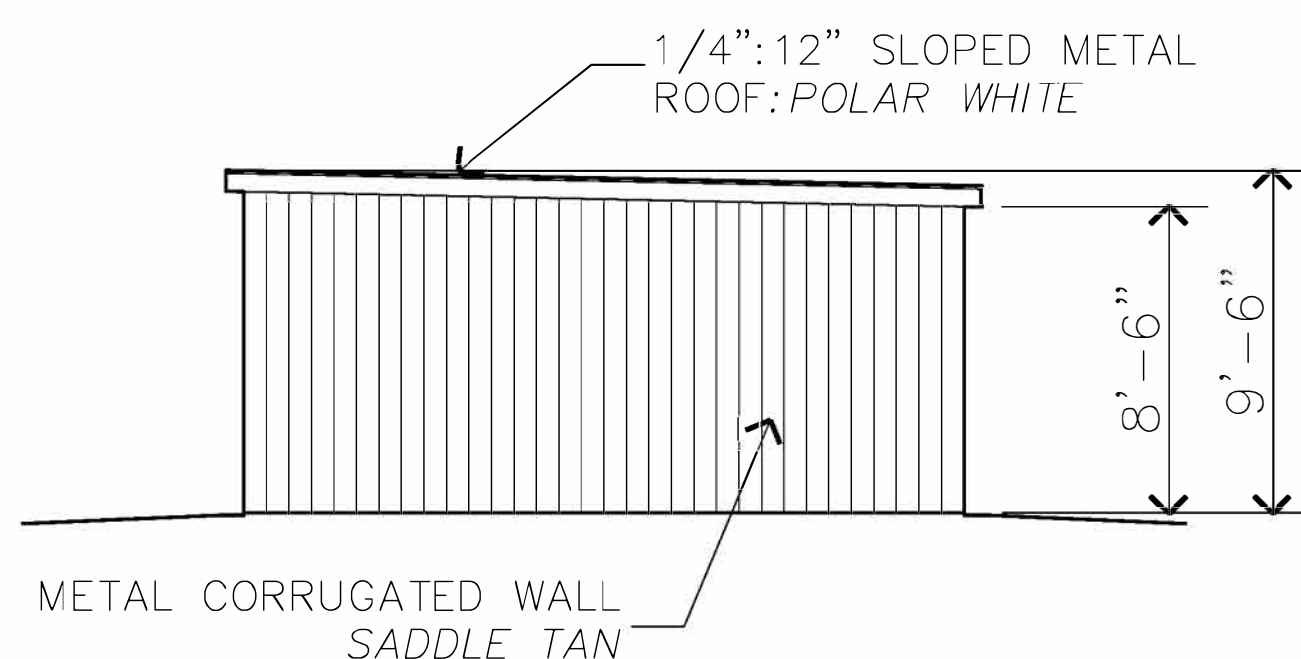


BLDG TYPE "B" END ELEVATION

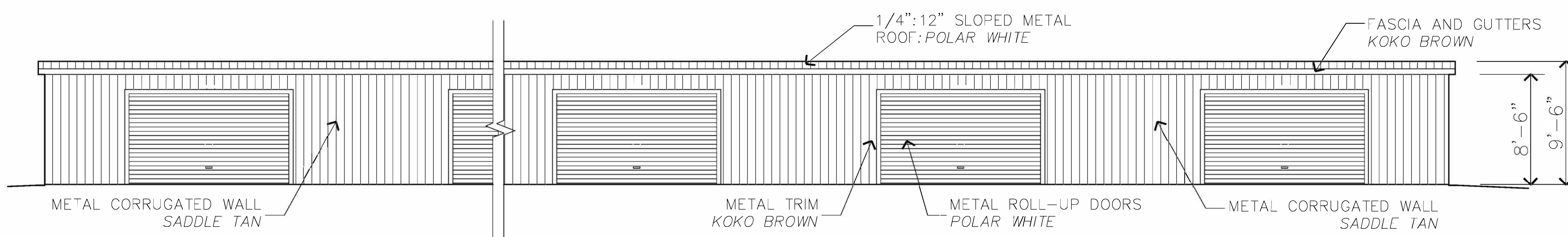


BLDG TYPE "B" SIDE ELEVATION

NOTE: ONE ELEVATION SHOWN FOR SIDE AND END ELEVATIONS AS OPPOSITE ELEVATIONS ARE IDENTICAL



BLDG TYPE "C" AND "D" END ELEVATION

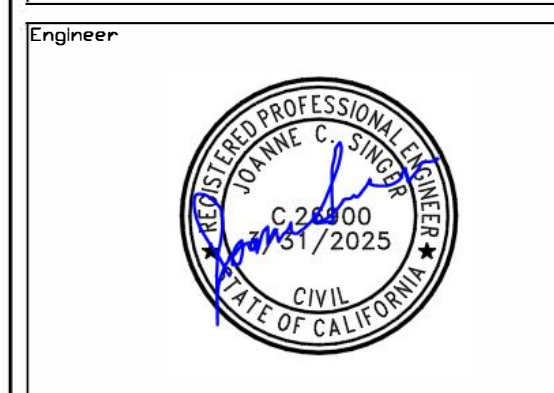


BLDG TYPE "C" AND "D" SIDE ELEVATION

- NOTES:
1. ALL METAL TO BE 26 GA. UNLESS NOTED OTHERWISE
 2. ALL ROOF AND WALL PANELS TO BE 80k PSI GALVANIZED STEEL (GALVALUME+ OR BETTER)
 3. ALL DOOR HANDLES TO BE 15" FROM GROUND MIN. AND 48" FROM GROUND MAX.
 4. GUTTERS AND DOWNSPOUTS INTEGRAL WITH METAL ROOF OVERHANGS AND EAVES WITH COLOR: EMPIRE SIG 200 KOKO BROWN
 5. BOLLARDS TO BE YELLOW REFLECTIVE PAINT AND OR WITH REFLECTED STRIPES.
 6. PROVIDE 4' HT. WAINSCOT AT UNITS VISIBLE FROM STREET. COLOR: EMPIRE SIG 200 CHARCOAL GRAY
 7. ALL COLORS TO BE EMPIRE SIGNATURE 200 STANDARD COLORS.

IF THESE DRAWINGS ARE SMALLER THAN 36" x 24" THEY HAVE BEEN REDUCED.
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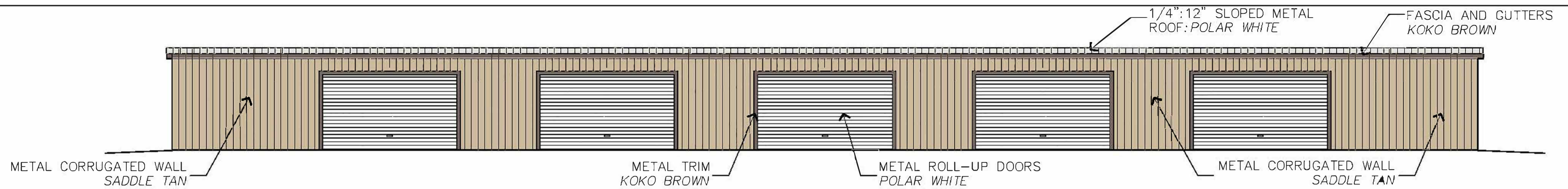


Project Owner
ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN MESA ROAD

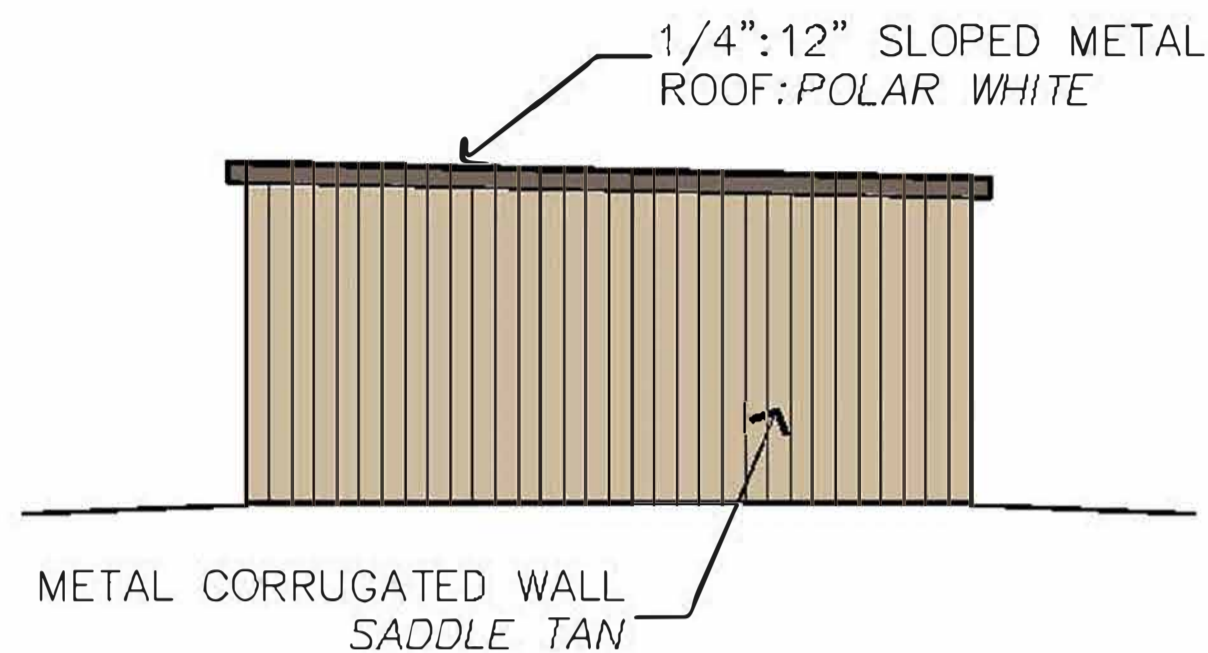
SCALE
3/16" = 1'-0"

Project Number & Sheet Number
T-3.0

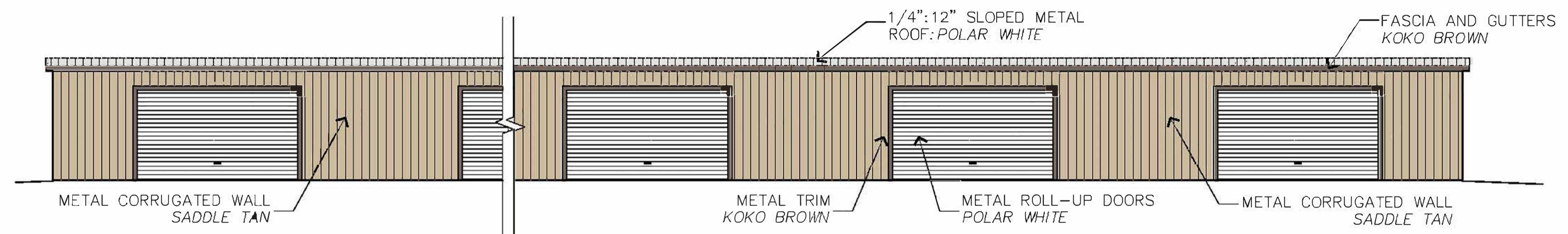


BLDG TYPE "B" SIDE ELEVATION

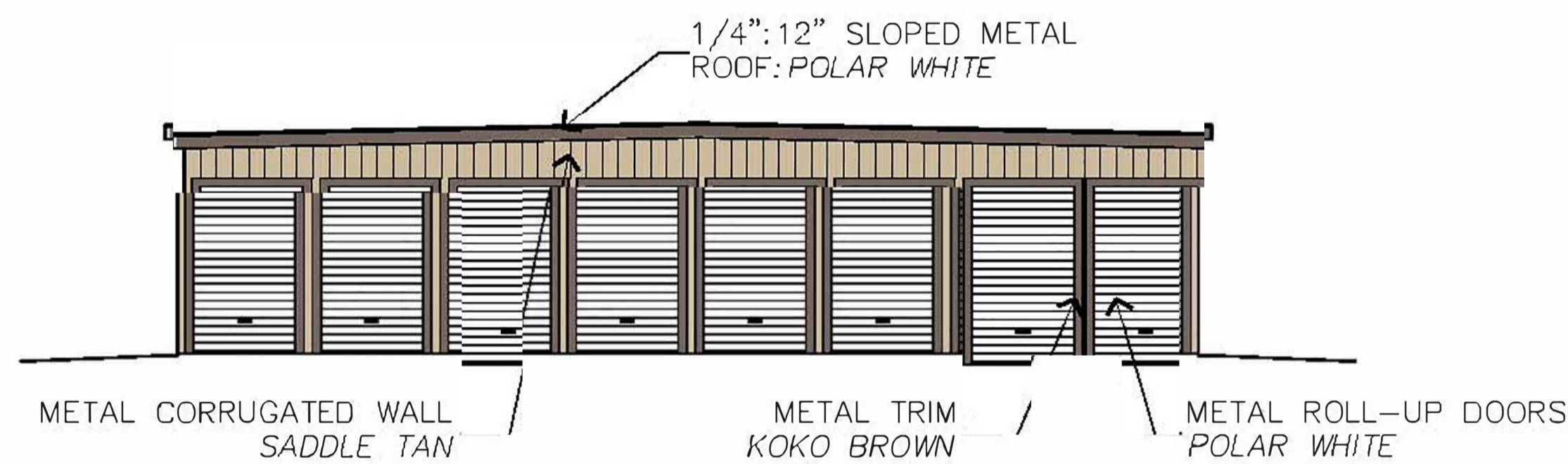
NOTE: ONE ELEVATION SHOWN FOR SIDE AND END ELEVATIONS AS OPPOSITE ELEVATIONS ARE IDENTICAL



BLDG TYPE "C" AND "D" END ELEVATION



BLDG TYPE "C" AND "D" SIDE ELEVATION



BLDG TYPE "A" END ELEVATION

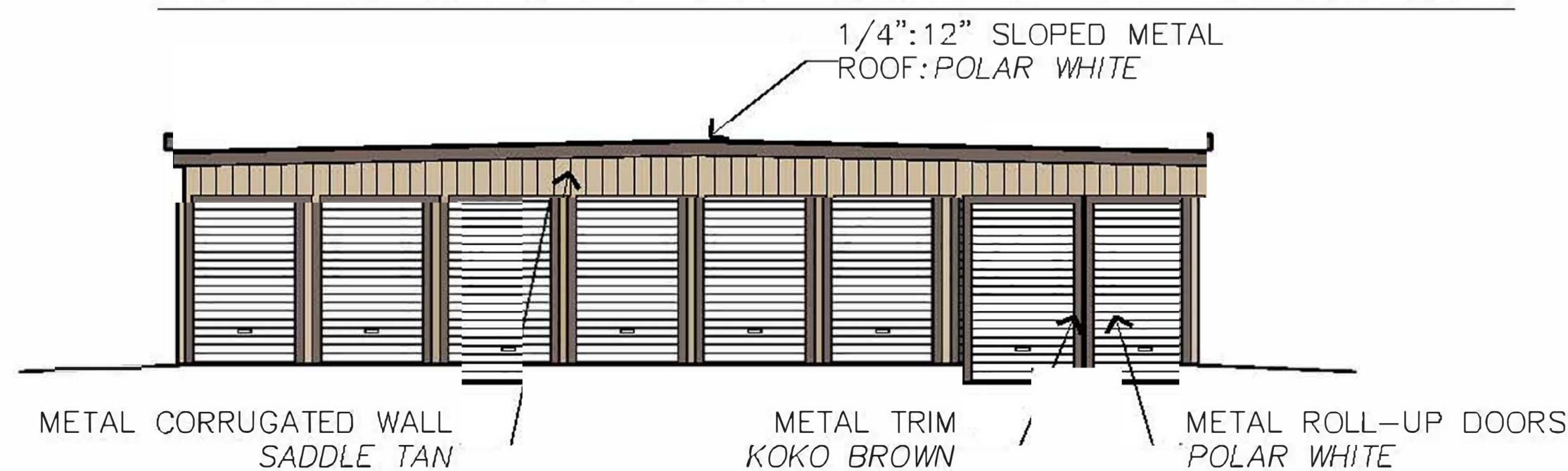
NOTES:

1. ALL METAL TO BE 26 GA. UNLESS NOTED OTHERWISE
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6. PROVIDE 4' HT. WAINSCOT AT UNITS VISIBLE FROM STREET. COLOR: EMPIRE SIG 200 CHARCOAL GRAY
7. ALL COLORS TO BE EMPIRE SIGNATURE 200 STANDARD COLORS.



BLDG TYPE "A" SIDE ELEVATION

NOTE: ONE ELEVATION SHOWN FOR SIDE AND END ELEVATIONS AS OPPOSITE ELEVATIONS ARE IDENTICAL



BLDG TYPE "B" END ELEVATION

PROPOSED COLORS:



MAIN BUILDING SIDING
SADDLE TAN



WAINCOTING
CHARCOAL GRAY



ROLL-UP / OFC DOORS
POLAR WHITE



TRIM, GUTTERS, FASCIA
KOKO BROWN

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1	ISSUE	DAVID	DAVID	09-20-22



Project Owner
ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN MESA ROAD

SCALE
3/16" = 1'-0"

T-4.0

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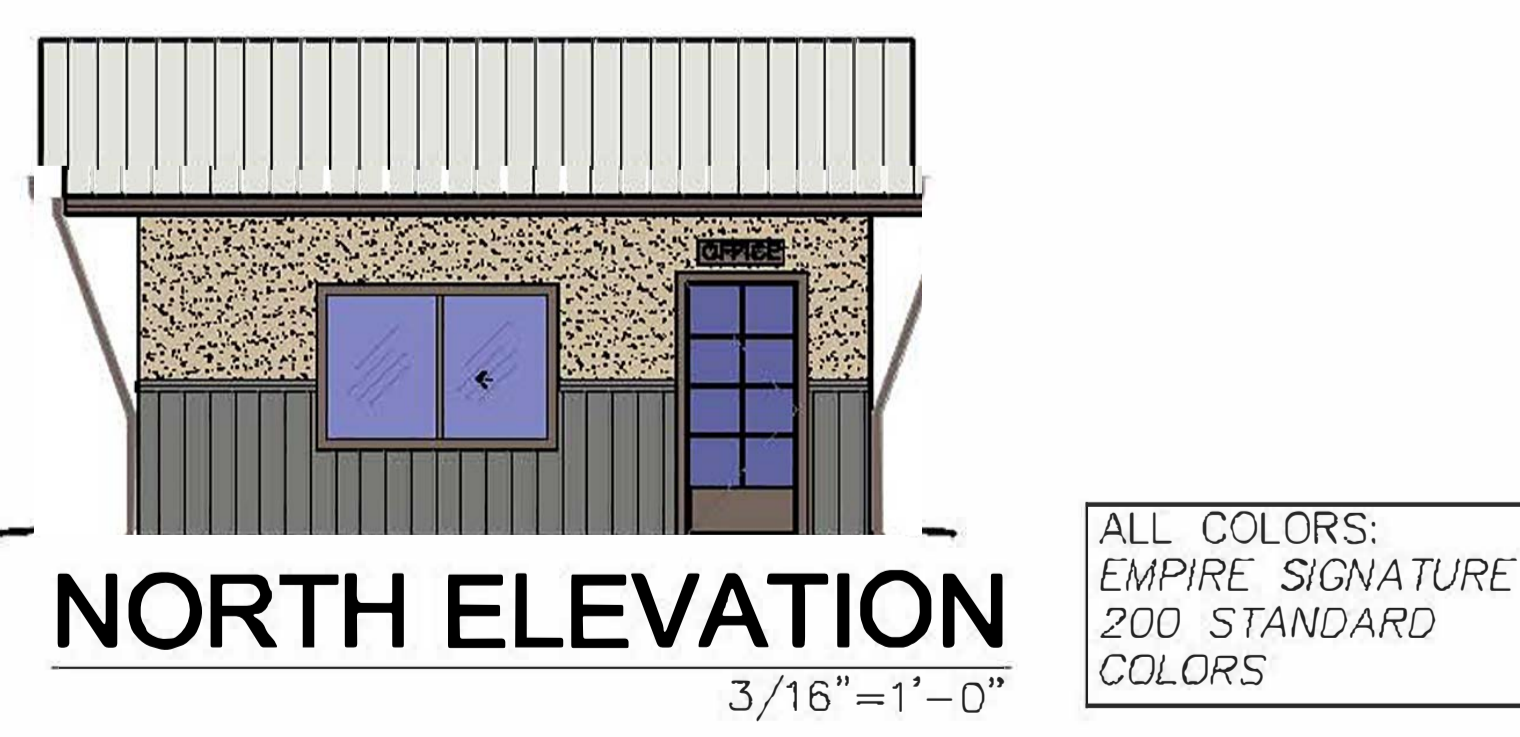
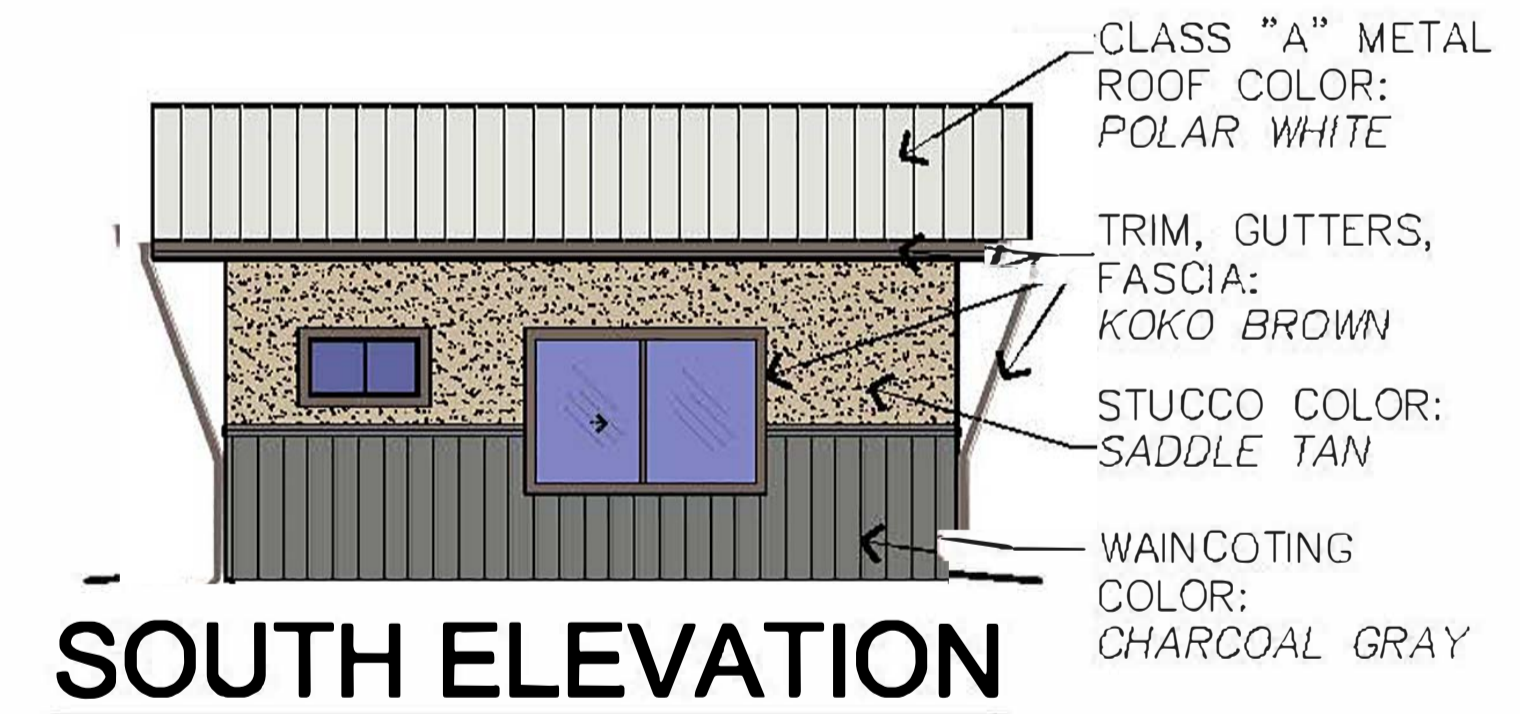


Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
 S.E. CORNER
 NEWTON LANE AND SUN MESA ROAD

SCALE
 3/16" = 1'-0"

T-4.1



CLASS "A" METAL
 ROOF COLOR:
 POLAR WHITE

TRIM, GUTTERS,
 FASCIA:
 KOKO BROWN

STUCCO COLOR:
 SADDLE TAN

WAINCOTING
 COLOR:
 CHARCOAL GRAY

ALL COLORS:
 EMPIRE SIGNATURE
 200 STANDARD
 COLORS

PROPOSED COLORS:



MAIN BUILDING SIDING
SADDLE TAN



WAINCOTING
CHARCOAL GRAY



ROLL-UP / OFC DOORS
POLAR WHITE



TRIM, GUTTERS, FASCIA
KOKO BROWN



SAMPLE PERSPECTIVE ELEVATIONS

NOTE: THESE PERSPECTIVE ELEVATIONS ARE REPRESENTATIVE ONLY, TO ILLUSTRATE THE TYPE OF METAL BUILDING PROPOSED.

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	PRELIMS		DRP/JS	08-03-22



Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
**PROPOSED
 MINI STORAGE**
 S.E. CORNER
 NEWTON LANE AND SUN
 MESA ROAD

SCALE
 3/16" = 1'-0"

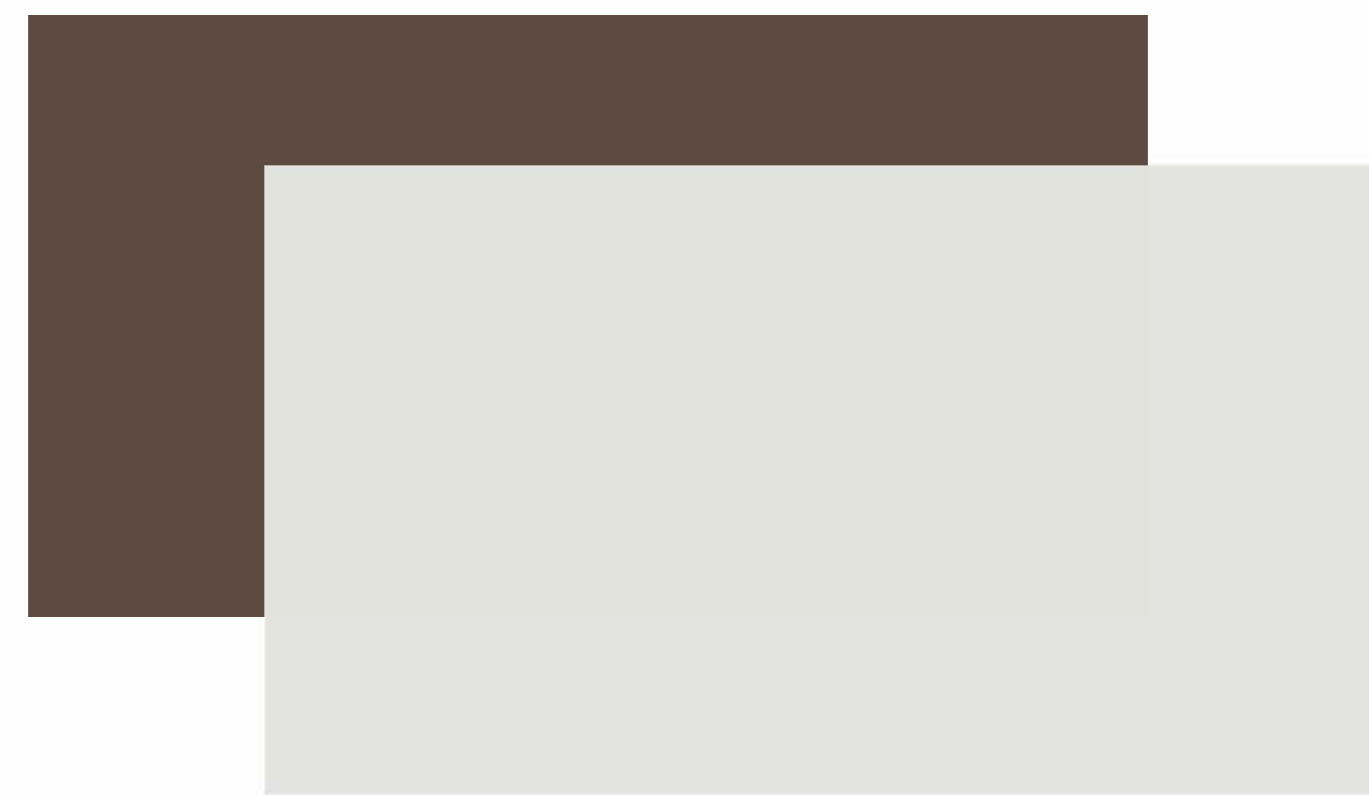
Project Number & Sheet Number
T-4.2



TRIM, GUTTERS, FASCIA
KOKO BROWN
 MAIN BUILDING SIDING
SADDLE TAN



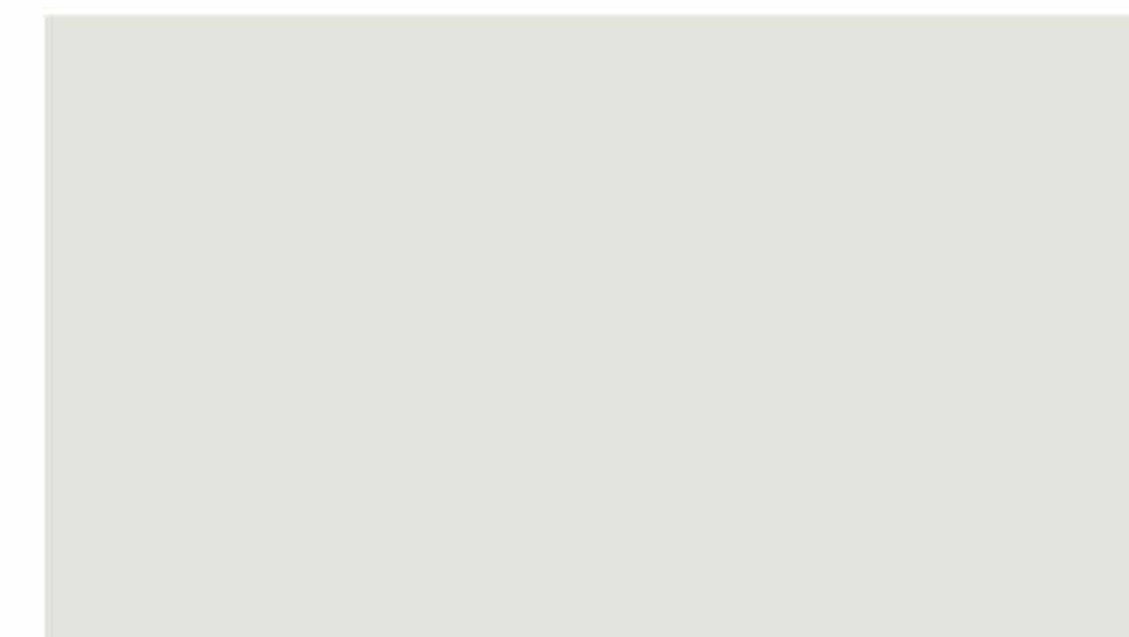
MAIN BUILDING SIDING
SADDLE TAN



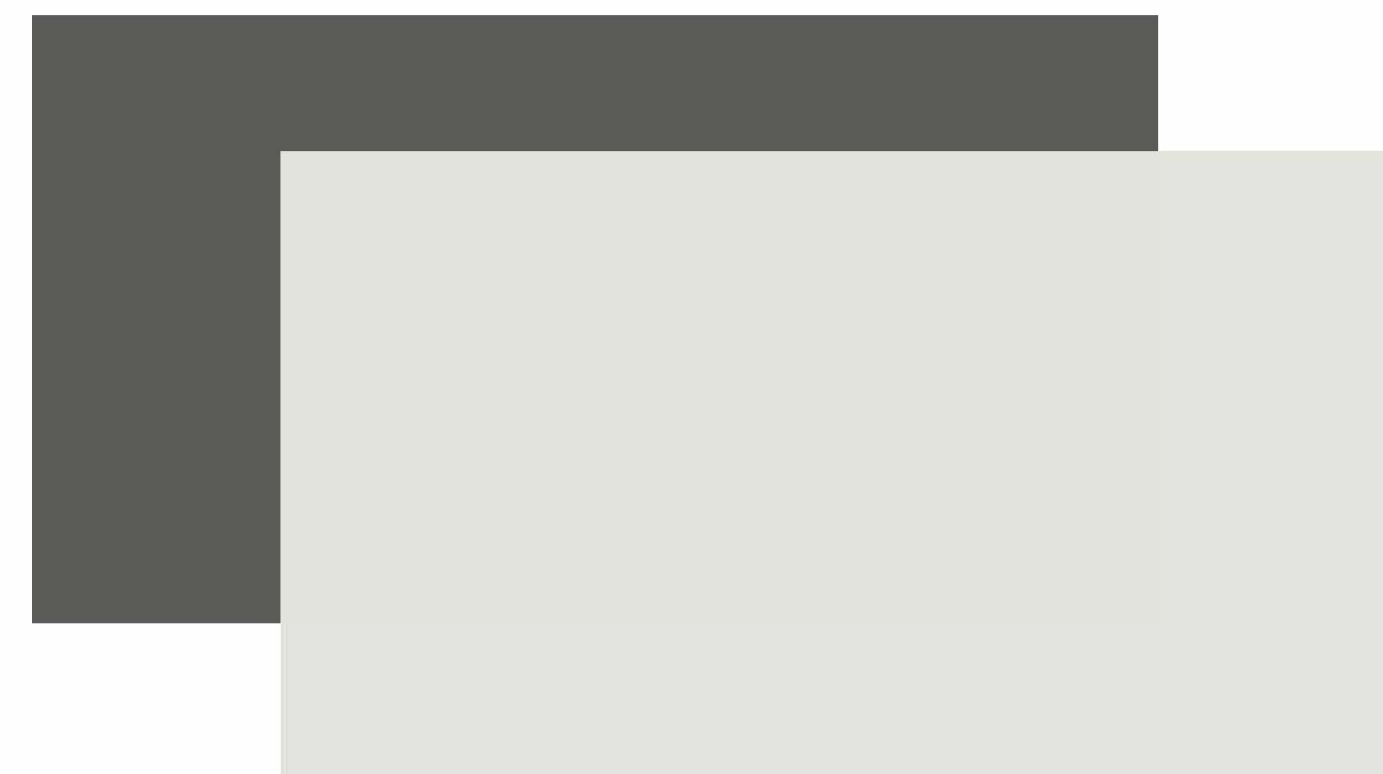
TRIM, GUTTERS, FASCIA
KOKO BROWN
 ROLL-UP/OFC DOORS
POLAR WHITE



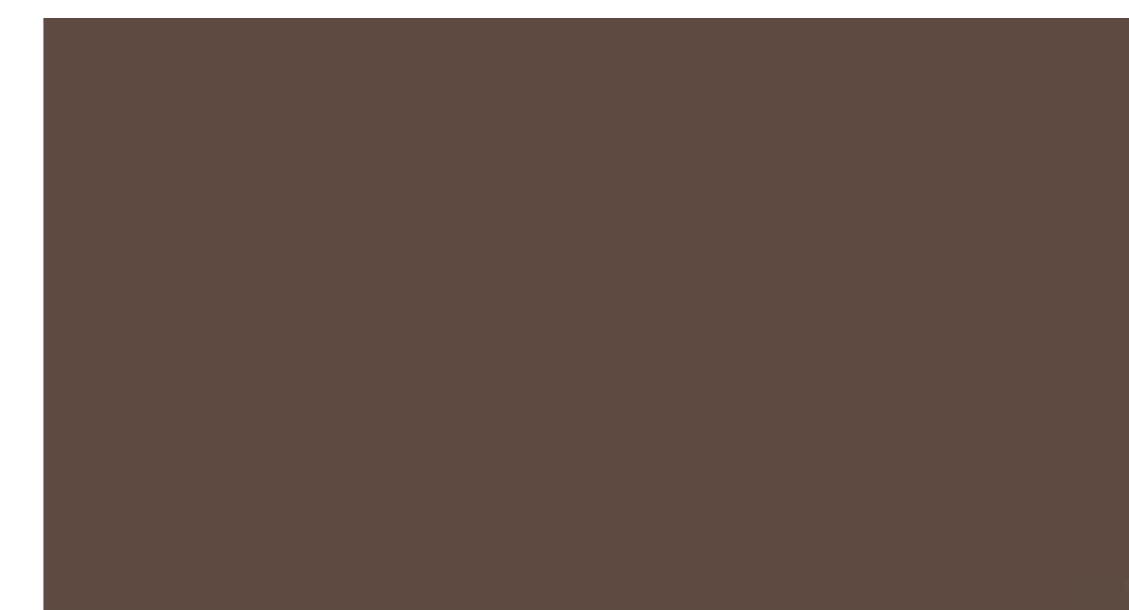
WAINCOTING
CHARCOAL GRAY



METAL ROOF/ROLL-UP DOORS
 OFFICE DOORS
POLAR WHITE



METAL ROOF/ROLL-UP DOORS
 OFFICE DOORS
POLAR WHITE
 WAINCOTING
CHARCOAL GRAY



TRIM, GUTTERS, FASCIA
KOKO BROWN

NOTE:
 ALL COLORS SHOWN
 ARE TO BE EMPIRE
 SIGNATURE 200
 STANDARD COLORS
 AND ARE ENERGY
 STAR QUALIFIED
 COLORS

COLOR BOARD

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	PRELIMS		DRP/JS	08-03-22



Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
**PROPOSED
 MINI STORAGE**
 S.E. CORNER
 NEWTON LANE AND SUN
 MESA ROAD

SCALE
 3/16" = 1'-0"

Project Number & Sheet Number
T-5.0

NOTES:
 ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND NURSERY AND MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND REQUIREMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING PRIOR TO SIGNING OF A CONTRACT WITH THE OWNER OF ANY CONFLICTS. CONFLICTS NOTED AFTER CONTRACT SIGNING OR AFTER THE COMMENCEMENT OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

VERIFICATION:
 PLANT MATERIAL AVAILABILITY SHALL BE CONFIRMED BY LANDSCAPE CONTRACTOR PRIOR TO BIDDING. SHOULD SPECIFIED MATERIAL NOT BE AVAILABLE, THE ARCHITECT AND OWNER SHALL BE NOTIFIED PRIOR TO BID DATE. PLANT SUBSTITUTIONS MAY ONLY BE MADE IF A PLANT BECOMES UNAVAILABLE. SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTANTIATED WRITTEN PROOF IS SUPPLIED THAT A SPECIFIED PLANT IS NOT OBTAINABLE. IN THIS SITUATION A PLANT CAN ONLY BE SUBMITTED BY A PLANT OF SIMILAR SIZE, HABITAT, AND VALUE. ABSOLUTELY NO SUBSTITUTIONS CAN BE MADE WITHOUT THE APPROVAL OF THE PROJECT ARCHITECT. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES.

SCHEMATIC:
 THE FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. PRIOR TO PLANTING VERIFY EXACT LOCATIONS WITH OWNER. VERIFY LOCATION OF ALL UTILITY LINES PRIOR TO INSTALLATION. FIELD ADJUSTMENT FOR GENERAL INTENT IF CONFLICT EXISTS.

FINISH GRADE:
 LANDSCAPE CONTRACTORS SHALL NOT FINE GRADE, AMEND SOIL OR DO ANY PLANTING OR IRRIGATION WORK UNTIL FINAL GRADES ARE ESTABLISHED WITHIN 0.1' BY GENERAL CONTRACTOR.

FINISH GRADES IN PLANTING AREAS:
 FINISH GRADES SHALL CONFORM TO GRADING PLAN. FINISH GRADES SHALL BE 1" INCH BELOW ADJACENT HARDSCAPE IN TURF AREAS AND 2" INCHES BELOW ADJACENT HARDSCAPE IN FROM AREAS. POSITIVE DRAINAGE AWAY FROM BUILDING AND WALKWAYS SHALL BE MAINTAINED.

ROUTE BARRIERS:
 SEE DETAILS REGARDING ROOT BARRIER REQUIREMENTS.

PLANTING DEPTH:
 THE LANDSCAPE CONTRACTOR SHALL PLANT ALL PLANTS AS SHOWN ON THE DETAILS. SHOULD THE LANDSCAPE CONTRACTOR OVERDIG PLANTING HOLES, AND THE PLANT OR PLANTS SETTLE, THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLANT THESE PLANTS CORRECTLY. SHOULD REPLANTING WEAKEN IN THE PLANT, THE LANDSCAPE CONTRACTOR SHALL REPLACE PLANT IMMEDIATELY. SHOULD ANY PLANTS SETTLE DURING THE ONE YEAR WARRANTY PERIOD, THEY SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR. ALL REPLANTING AND REPLACEMENT SHALL BE DONE BY THE CONTRACTOR WITHIN TWO WEEKS OF NOTIFICATION AT NO ADDITIONAL COST TO THE OWNER. ALL REPLACEMENT PLANTINGS SHALL BE PROVIDED BY THE CONTRACTOR TO MATCH THE SAME SIZE OF THE SURROUNDING PLANT (E.G. REPLACEMENT PLANTS FOR ONE GALLON SIZE MAY REQUIRE REPLACEMENT BY FIVE GALLON, FIVE GALLON BY 15 GALLON, 15 GALLON BY 24 INCH BOX ETC.). ARCHITECT SHALL HAVE THE FINAL DECISION AS TO WHICH PLANTS ARE TOO DEEP AND IF ANY PLANTS HAVE BEEN WEAKENED BY REPLANTING AND REQUIRE REPLACEMENT.

TREE PLANTING:
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY PLAN FOR TREE PLANTING WHILE INSTALLING THE IRRIGATION SYSTEM. NO TREES OR SHRUBS SHALL BE PLANTED DIRECTLY ON TOP OF IRRIGATION LINES.

BACKFILL:
 BACKFILL FOR PLANTING WITH 50 PERCENT CLEAN NATIVE SOIL AND 50 PERCENT NITROLIZED FOREST HUMUS NITROLIZED SAWDUST. PLANT TREES AND SHRUBS WITH TOP OF ROOT BALL SLIGHTLY ABOVE GROUND LEVEL. SET PLANT ON NATIVE GRADE. IF HOLE IS OVERDUG BACKFILL WITH THREE-QUARTER INCH GRAVEL TO POINT WHERE PLANT CROWN IS ABOVE GROUND LEVEL. SET PLANT, BACKFILL HALFWAY, TAMP SOIL, AND FERTILIZER TABLETS THEN COMPLETE BACKFILL. SEE DETAIL. SLOW-RELEASE FERTILIZER PACKS SHALL BE ADDED WHEN PLANTING AS FOLLOWS: ONE FOR ONE GALLON, 3 PER 5 GALLON, 6 FOR 15 GALLON, 12 FOR 24" INCH BOX. PROVIDE WATERING BASIN AROUND EACH PLANT. WATER IMMEDIATELY. REMOVE BASINS IN TURF AREAS PRIOR TO PLANTING TURF.

SOIL PREPARATION:
 REMOVE STONES, ROOTS AND OTHER DEBRIS FROM THE PLANTING AREA. COMPACTED SOIL SHALL BE RETURNED TO A FRAGILE CONDITION. APPLY WATER AS NEEDED TO OBTAIN OPTIMUM MOISTURE CONTENT FOR SOIL PREPARATION AND PLANTING. SEED OR HYDRATED SEEDS TURF AND FLATTED GROUND COVER AREAS; TILL INTO TOP 6 INCH OF SOIL. BEST 6-20-20XB FERTILIZER (OR APPROVED EQUAL) AT 20 POUNDS PER THOUSAND SQUARE FEET. A 2 INCH LAYER (6 CUBIC YARDS PER THOUSAND SQUARE FEET) NITROLIZED HUMUS, AND 92 POUNDS PER THOUSAND SQUARE FEET 95 PERCENT SPREADABLE GYPSUM. SODDED TURF SAME AS ABOVE WITH ONLY ONE CUBIC YARD PER THOUSAND SQUARE FOOT NITROLIZED HUMUS.

HERBICIDES:
 LANDSCAPE CONTRACTOR WILL APPLY RONSTAR OR APPROVED EQUAL PER MANUFACTURER'S REQUIREMENTS AFTER PLANTING. CONFORM TO ALL NATIONAL, STATE AND LOCAL REPORTING REQUIREMENTS. LANDSCAPE CONTRACTOR WILL MAINTAIN THE PROJECT IN A WEED FREE CONDITION UNTIL END OF MAINTENANCE PERIOD.

SPECIALTY PLANTS:
 THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL AMENDMENTS AND SPECIALTY MATERIALS NEEDED FOR PLANTS THAT REQUIRES SPECIAL PLANTING MEDIA. AZALEAS, JAPANESE MAPLES AND CAMELIAS SHALL BE PLANTED IN A MIXTURE OF HALF PRE-MOISTENED PETE MOSS AND HALF NATIVE SOIL. OTHER PLANS REQUIRING SPECIAL PLANTING MEDIA WILL BE NOTED IN THE LEGEND. THE CONTRACTOR SHALL PROVIDE SPECIALTY MEDIA AS A PORTION OF COMPLETE PROJECT AT NO ADDITIONAL COST TO THE OWNER.

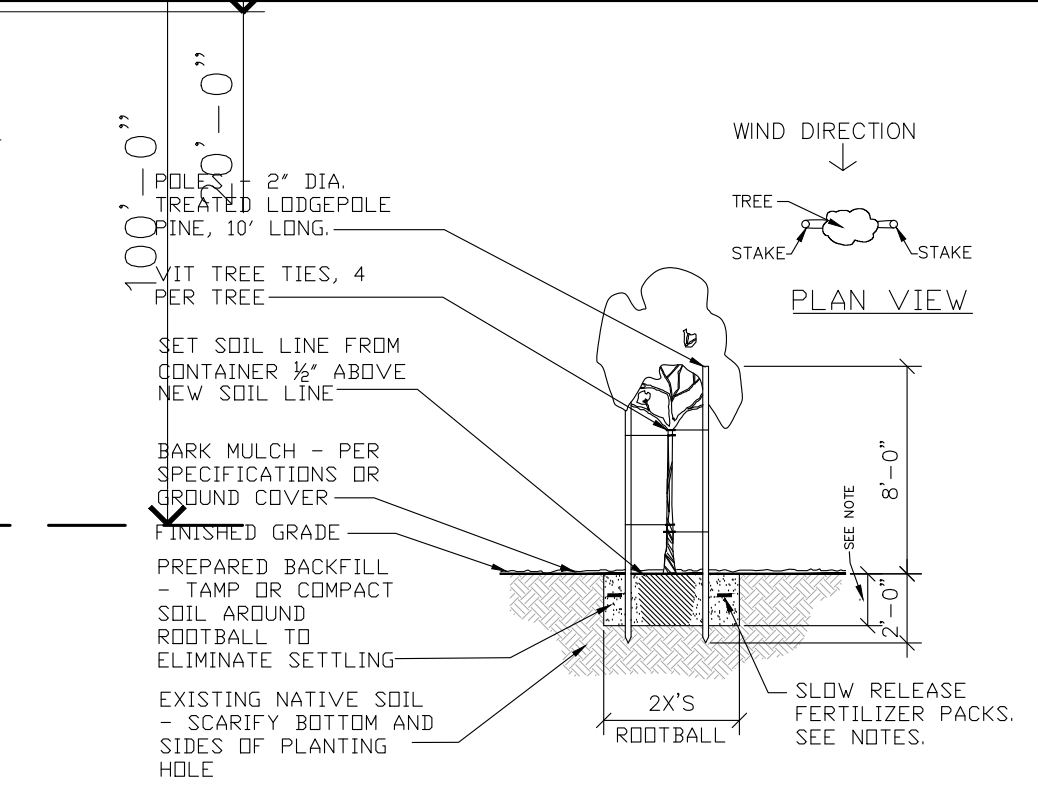
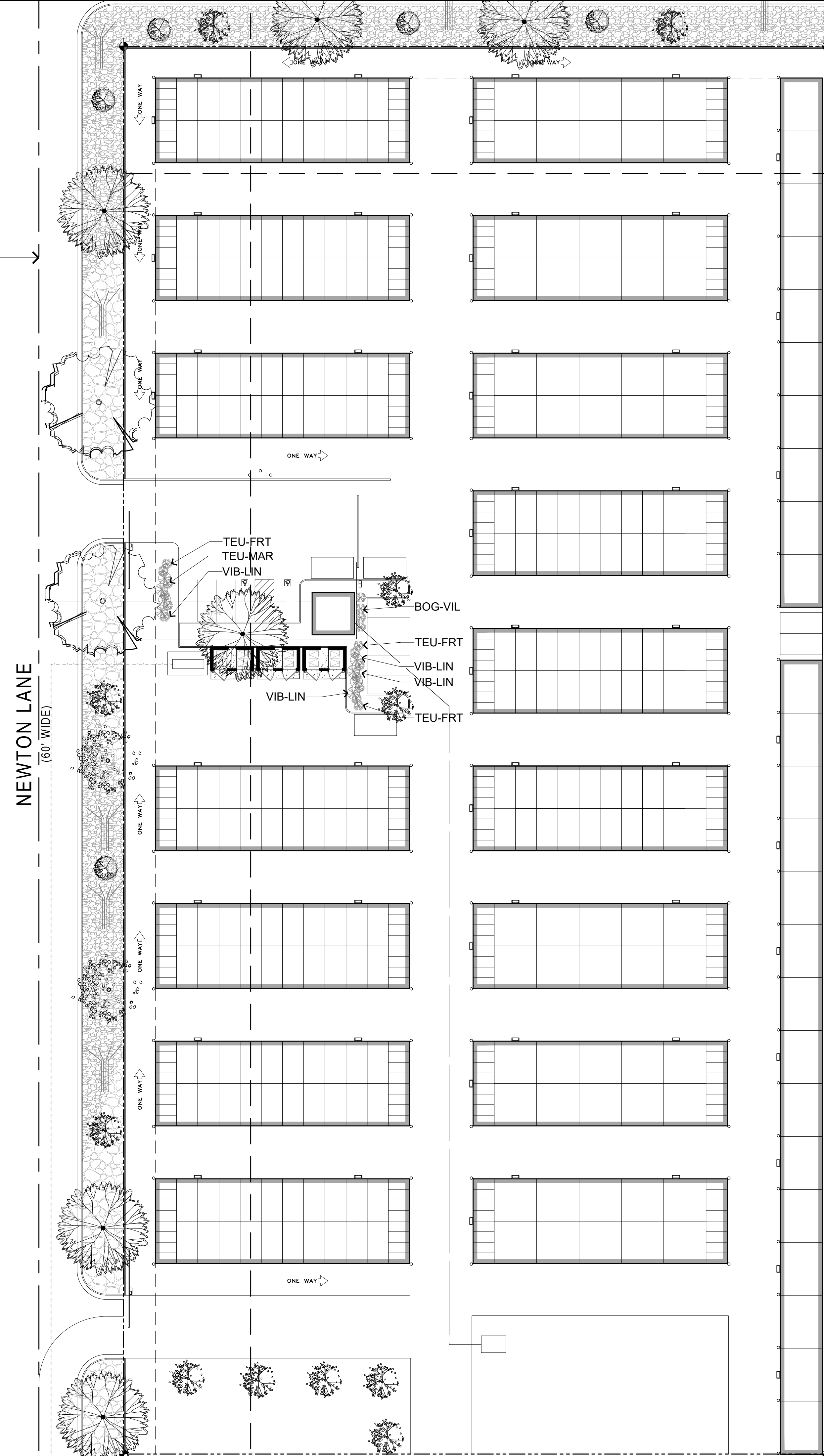
TREES:
 ALL THREE SHALL MEET THE REQUIREMENTS OF AMERICAN ASSOCIATION OF NURSERYMEN 'AMERICAN STANDARD OR NURSERY STOCK'. THREE SHALL BE OF EXCELLENT HEALTH WITHOUT DAMAGE OR CIRCLING ROOTS OR FOLIAR DAMAGE FROM FUNGUS, INSECT, SUN OR WIND EXPOSURE OR OTHER BIOLOGICAL OR CLIMATIC CAUSES. THE ARCHITECT OR OWNER RESERVE THE RIGHT TO REJECT UNSUITABLE TREES EVEN AFTER PLANTING. LANDSCAPE CONTRACTOR SHALL REQUEST EVALUATION BY ARCHITECT PRIOR TO PLANTING IF HE/SHE HAS QUESTIONS REGARDING SUITABILITY. IF THE EVALUATION REQUIRES A SITE VISIT NOT PREVIOUSLY SCHEDULED, THE COST OF THE EVALUATION SHALL BE BORNE BY THE CONTRACTOR. TREES SHALL BE STAKED PER DETAIL.

TREE CALIPER:
 TREES WILL HAVE THE FOLLOWING CALIPER AND SIX INCH ABOUT GRADE:
 5 GALLONS .5 INCH TO .75 INCH
 15 GAL .75 INCH TO 1.5 IN.
 24 IN. BOX 1.5 INCH TO 2.5 IN.

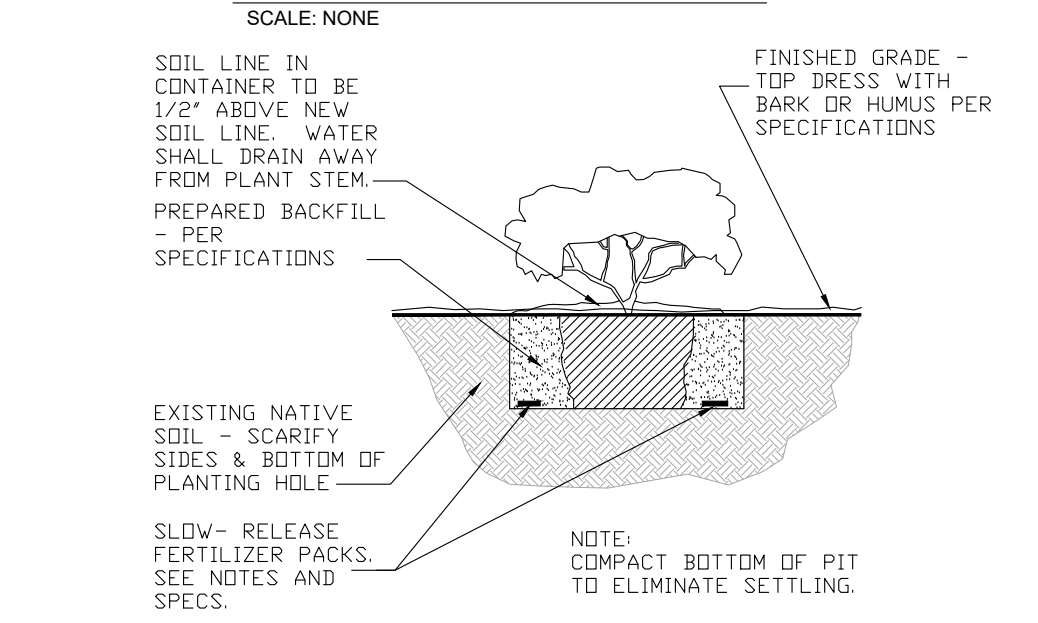
WARRANTY PERIOD, MAINTENANCE PERIOD:
 LANDSCAPE CONTRACTOR SHALL WARRANT PLANTING AND ALL OF ITS COMPONENTS FOR 12 MONTHS AFTER FINAL ACCEPTANCE OF PROJECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR ASSOCIATED WITH THE GUARANTEE, INCLUDING BUT NOT LIMITED TO THE LOSS OF THE PLANT MATERIAL OR DAMAGED STRUCTURES. LANDSCAPE CONTRACTOR SHALL PROVIDE MAINTENANCE OF THE PROJECT FOR 90 DAYS BEGINNING AT SUBSTANTIAL COMPLETION OF THE PROJECT. IF SUBSTANTIAL COMPLETION PUNCH LIST ITEMS HAVE NOT BEEN CORRECTED WITHIN 10 WORKING DAYS OF THE SUBSTANTIAL COMPLETION REVIEW, THE BEGINNING OF THE MAINTENANCE SHALL BE EXTENDED TO BEGIN AT THE COMPLETION OF THOSE PUNCH LIST ITEMS.

PLANT ALLOWANCE:
 THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH COMPLETE PROJECT. HE/SHE SHALL INSTALLED ANY AND ALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND LEGENDS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS, NOTES OR LEGENDS, THE ONE THAT REQUIRES A GREATER NUMBER OF PLANTS SHALL PREVAIL. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NEEDED CHANGES AS DIRECTED BY THE ARCHITECT AND PROVIDE THE OWNER WITH A COMPLETE PROJECT AT NO ADDITIONAL COST TO THE OWNER.

MULCH:
 THE LANDSCAPE CONTRACTOR SHALL INSTALL 2 INCH OF WOOD CHIPS OR BARK ON ALL NON TURF PLANTING AREAS.



NOTES:
 A. DIG PLANT PIT ONLY AS DEEP AS SOIL IN CONTAINER. DO NOT OVER EXCAVATE DEPTH.
 B. TOP OF ROOT BALL SHALL BE 1/2" MIN. ABOVE FINISHED GRADE LEVEL. ALL WATER SHALL DRAIN AWAY FROM PLANT STEM.

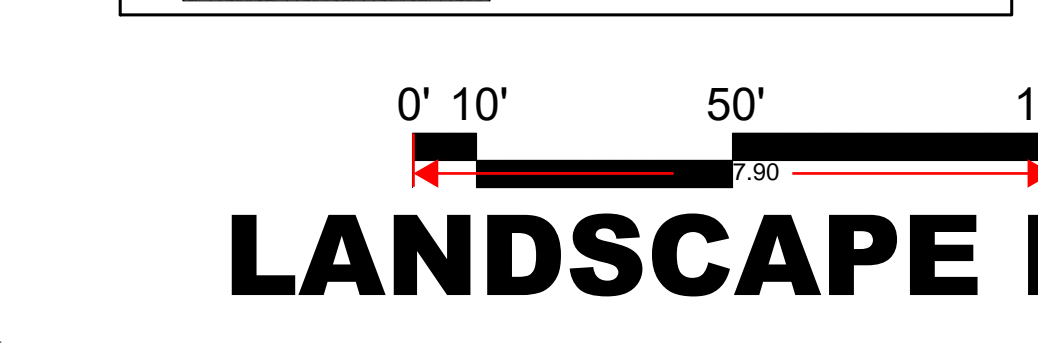


SHRUB PLANTING DETAIL
 SCALE: NONE

- LEGEND:**
- TREE LEGEND:**
DESIDUOUS TREES
- PYR-CAL
 Pyrus Calleryana
 (Weinbaum/Captal) 11" Dia.
 15 Gal.
 - LAG-IND
 Lagerströmia indica
 (Cape Myrtle, Red) 15" Dia.
 19" Dia. Above Ground
 72" Dia X 42" GTRC Planter
 - KOE-BIN
 Koeleria paniculata -
 (Golden Rain Tree) 30" Dia.
 6 Gal.
 - PST-CHI
 Pistacia chinensis
 (Chinese Pistache) 42" Dia.
 24 Box
 - QUE-VIR
 Quercus virginica
 (Southern Live Oak) 50" Dia.
 15 Gal.

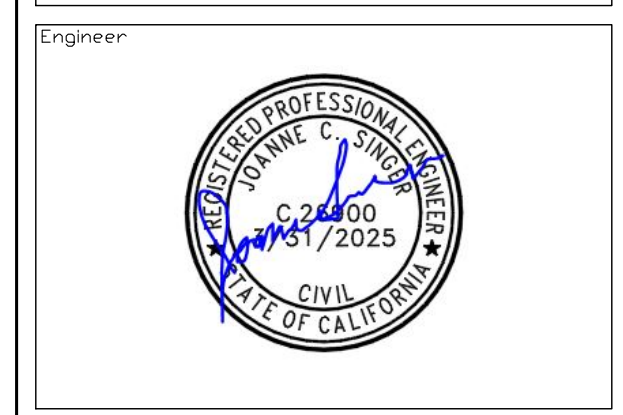
- SCHRUBS/NATIVE PLANTS:**
LOW/VERY LOW WATERING
- PRO-PIN
 Prosopis juliflora
 5-gallon plant
 - YUC-BRE
 Yucca brevifolia
 (Yucca plant - yuccate)
 8 total transplants

- DECORATIVE ROCK:**
XERISCAPING
- DECORATIVE ROCK:
 LARGE RIVER ROCK AND
 OR BOULDERS
 - DECORATIVE ROCK:
 SMALL TO MEDIUM SIZE
 RIVER ROCK



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No.	Revision / Issue	Drawn by	Checked by	Date
	PRELIMS		DRP/JS	08-03-22



Project Designer
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
**PROPOSED
 MINI STORAGE**
 S.E. CORNER
 NEWTON LANE AND SUN
 MESA ROAD

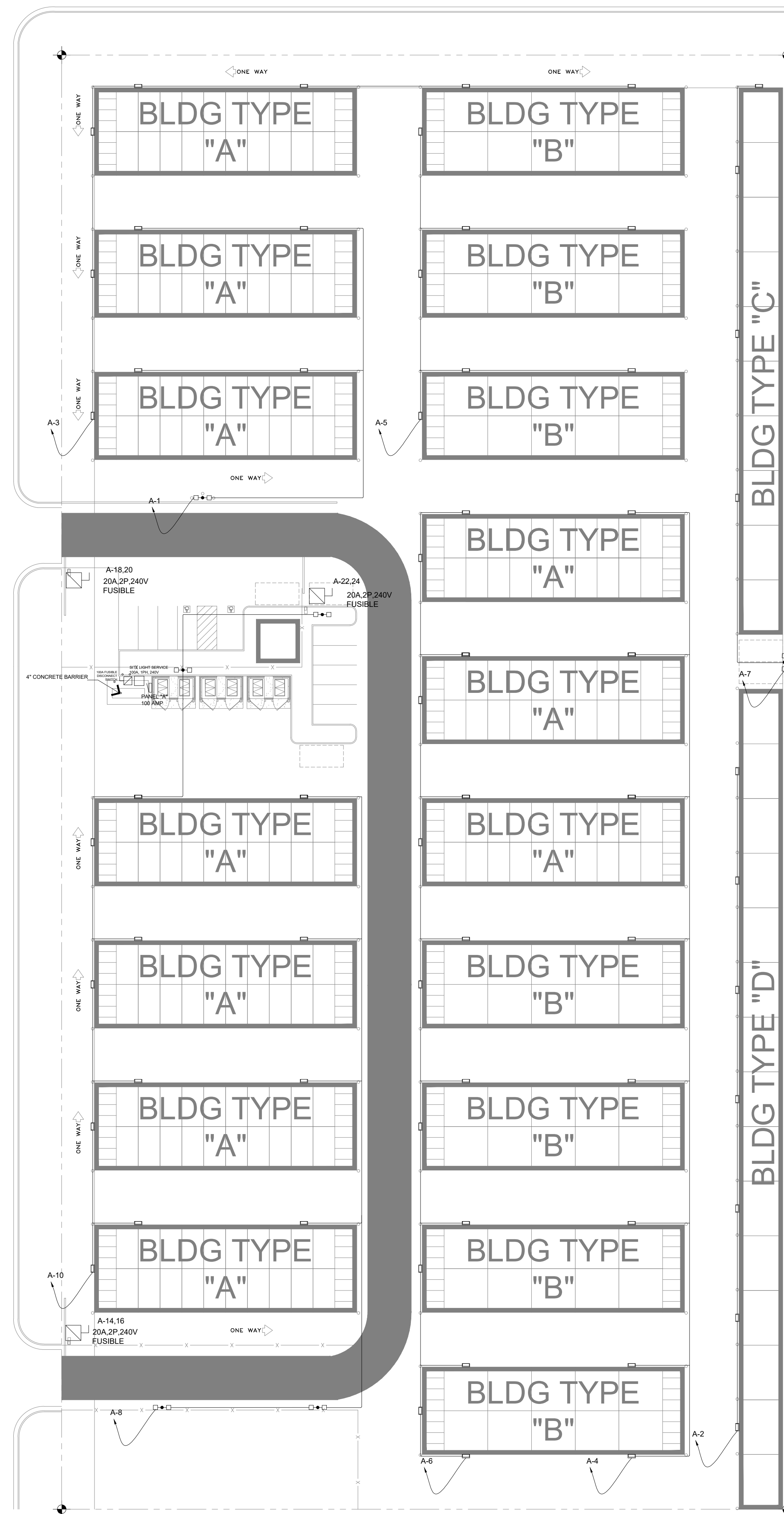
SCALE
 1" = 30'-0"

Project Number & Sheet Number
T-6.0



LANDSCAPE PLAN
 SCALE: 1" = 30'-0"

SUN MESA ROAD



SITE LIGHTING PLAN

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No.	Revision / Issue	Drawn by	Checked by	Date



Project Owner
ROB BILLINGS
 SUN MESA ROAD
 YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
 S.E. CORNER
 NEWTON LANE AND SUN MESA ROAD

SCALE
 1/32" = 1'-0"

Project Number & Sheet Number
ES.1

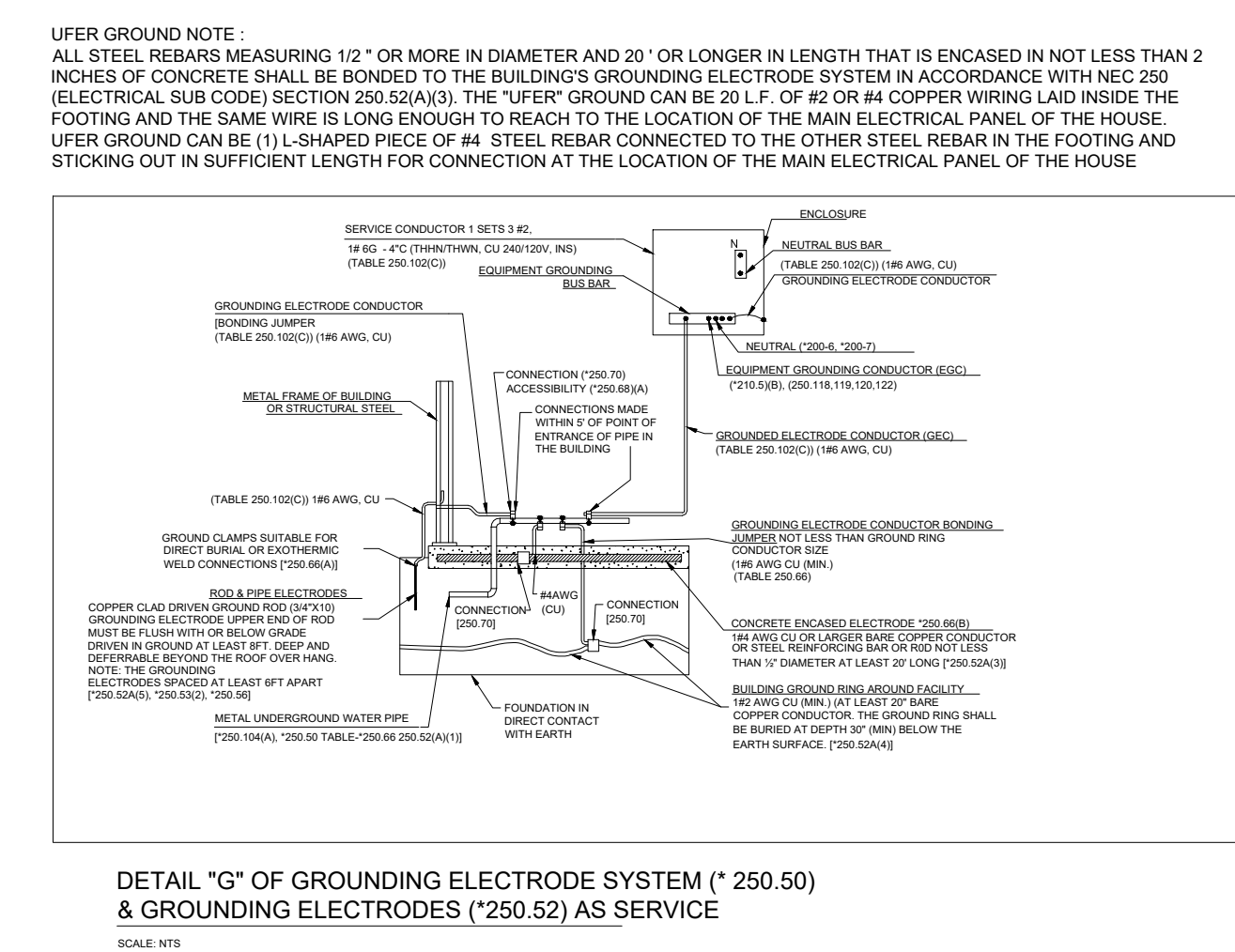
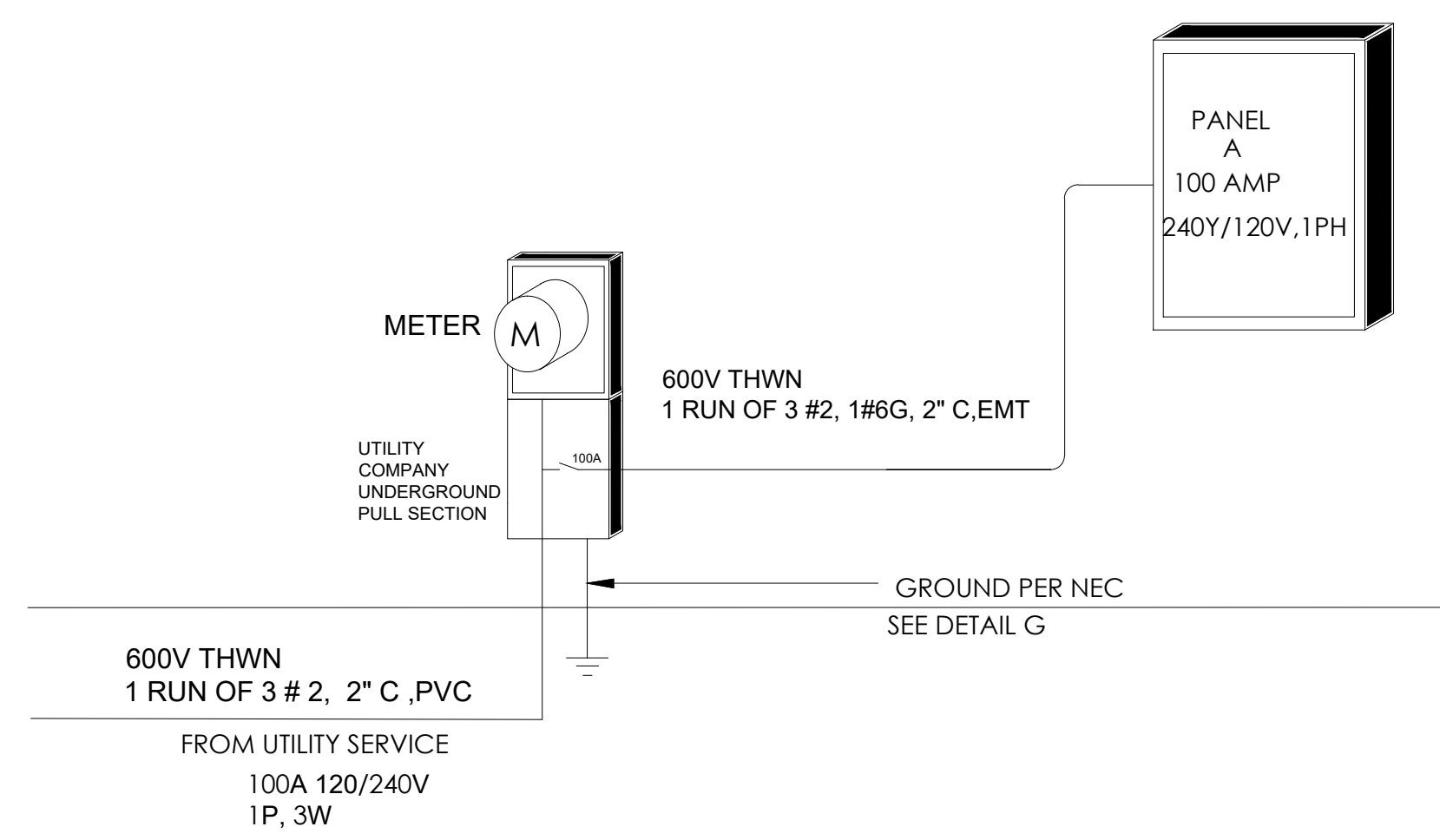
240/120V, 1Ø, 4W														
CABLE CALCULATION														
FROM	TO	Total Connected Load (VA)	CABLE SIZE	Main Breaker Size	Cable Ampacities Table 310.15(B)(16) amper "AT"	CONDUCTOR/ PHASE	1P VOLTAGE DROP VD = (K x I x D)/CM				Ground Cable (NEC-250.122) (Insulated Copper)	Conduit for Feeders (Table C1)		
							CM(Circular mils) Chapter 9, Table 8	CABEL LENGTH D	Ampacity (240V, 1Ph) I	ohms-cmil/ft K	VD	FEEDER V. DROP (%)		
LGT PANEL	LIGHTING CIRCUIT-1	400	10 AWG	20	35	1	10380	500	2	12.9	1.04	0.43	AWG#12	1"
	LIGHTING CIRCUIT-3	510	10 AWG	20	35	1	10380	600	2	12.9	1.58	0.66	AWG#12	1"
	LIGHTING CIRCUIT-5	510	10 AWG	20	35	1	10380	600	2	12.9	1.58	0.66	AWG#12	1"
	LIGHTING CIRCUIT-7	400	10 AWG	20	35	1	10380	600	2	12.9	1.24	0.52	AWG#12	1"
	LIGHTING CIRCUIT-2	510	10 AWG	20	35	1	10380	620	2	12.9	1.64	0.68	AWG#12	1"
	LIGHTING CIRCUIT-4	590	10 AWG	20	35	1	10380	745	2	12.9	2.28	0.95	AWG#12	1"
	LIGHTING CIRCUIT-6	1,100	10 AWG	20	35	1	10380	825	5	12.9	4.70	1.96	AWG#12	1"
	LIGHTING CIRCUIT-8	510	10 AWG	20	35	1	10380	630	2	12.9	1.66	0.69	AWG#12	1"
	LIGHTING CIRCUIT-10	800	10 AWG	20	35	1	10380	400	3	12.9	1.66	0.69	AWG#12	1"
	ROLLING GATES CIRCUIT-14,16	840	10 AWG	20	35	1	10380	320	4	12.9	1.39	0.58	AWG#12	1"
ROLLING GATES CIRCUIT-18,20	840	10 AWG	20	35	1	10380	75	4	12.9	0.33	0.14	AWG#12	1"	
ROLLING GATES CIRCUIT-22,24	840	10 AWG	20	35	1	10380	120	4	12.9	0.52	0.22	AWG#12	1"	

CONNECTED LOAD						DEMAND TOTAL	
LOAD SUMMARY	CL	DF	A	B			
L Lighting	5.33	1.25	3.32	2.01	6.66		
R Convenience Recept							
H Heating (Space)		1.25					
C Cooling		1.00					
A H/VAC		1.00					
P Process		1.00					
O Other Continuous		1.25					
K Kitchen		0.65					
N Noncontinuous		1.00					
M Motor	4.20	1.00	2.10	2.10	4.20		
Total	9.53		5.42	4.11	10.86		

Total Demand Load (KVA)	10.86
Total Demand Current (A)	45.27
Min. Feeder Ampacity (A)	56.58

LTG PANEL							
PANELBOARD DESIGNATION							
SYSTEM VOLTAGE	240/120V, 1Ø, 3W						
BUS SIZE	100						
SYSTEM TYPE	NORMAL						
FEEDER PROT	100A-2P CB BUS PLUG						
CONDUCTOR SIZE	2 AWG - #6G CU						
CONDUCTOR PHASE	1						
MAINS	100A MCB						
SCCR	FULLY RATED						
MCB RATING	80%						
GROUND FAULT	NO						
FEEDER LENGTH (FT)	100						
FEEDER V. DROP (%)	1.620						
FAULT CURRENT							
KAIC RATING	42						
ENCLOSURE	TYPE 1						

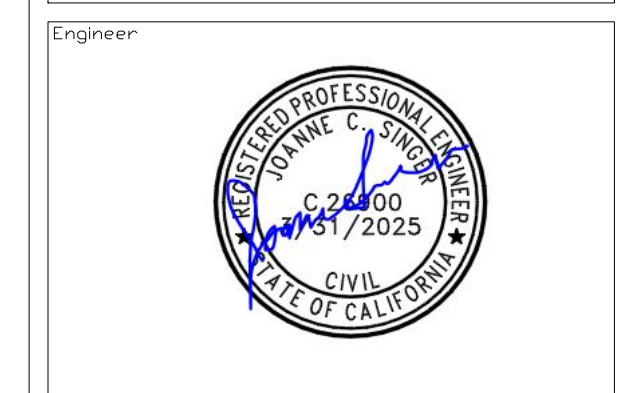
DESCRIPTION	* CB	KVA	A	B	KVA	CB	DESCRIPTION	* L
1 LIGHTING CIRCUIT WITH TIME CONTROL	L 20A-1P	0.40	0.91	0.51	0.51	20A-1P	LIGHTING CIRCUIT WITH TIME CONTROL	L 2
3 LIGHTING CIRCUIT WITH TIME CONTROL	L 20A-1P	0.51	1.10	0.59	0.59	20A-1P	LIGHTING CIRCUIT WITH TIME CONTROL	L 4
5 LIGHTING CIRCUIT WITH TIME CONTROL	L 20A-1P	0.51	1.61	1.10	1.10	20A-1P	LIGHTING CIRCUIT WITH TIME CONTROL	L 6
7 LIGHTING CIRCUIT WITH TIME CONTROL	L 20A-1P	0.40	0.91	0.51	0.51	20A-1P	LIGHTING CIRCUIT WITH TIME CONTROL	L 8
9 SPARE	20A-1P		0.80	0.80	0.80	20A-1P	LIGHTING CIRCUIT WITH TIME CONTROL	L 10
11 SPARE	20A-1P					20A-1P	SPACE	12
13 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 14
15 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 16
17 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 18
19 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 20
21 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 22
23 SPARE	20A-1P		0.42	0.42	0.42	20A-2P	ROLLING SECURITY GATES	M 24
25 SPARE	20A-1P						SPACE	26
27 SPARE	20A-1P						SPACE	28
29 SPARE	20A-1P						SPACE	30
31 SPARE	20A-1P						SPACE	32
33 SPARE	20A-1P						SPACE	34
35 SPARE	20A-1P						SPACE	36
37 SPARE	20A-1P						SPACE	38
39 SPARE	20A-1P						SPACE	40
41 SPARE	20A-1P						SPACE	42
Total Connected Load (KVA)			4.58	3.27				



SINGLE LINE DIAGRAM AND PANEL BOARD SCHEDULE

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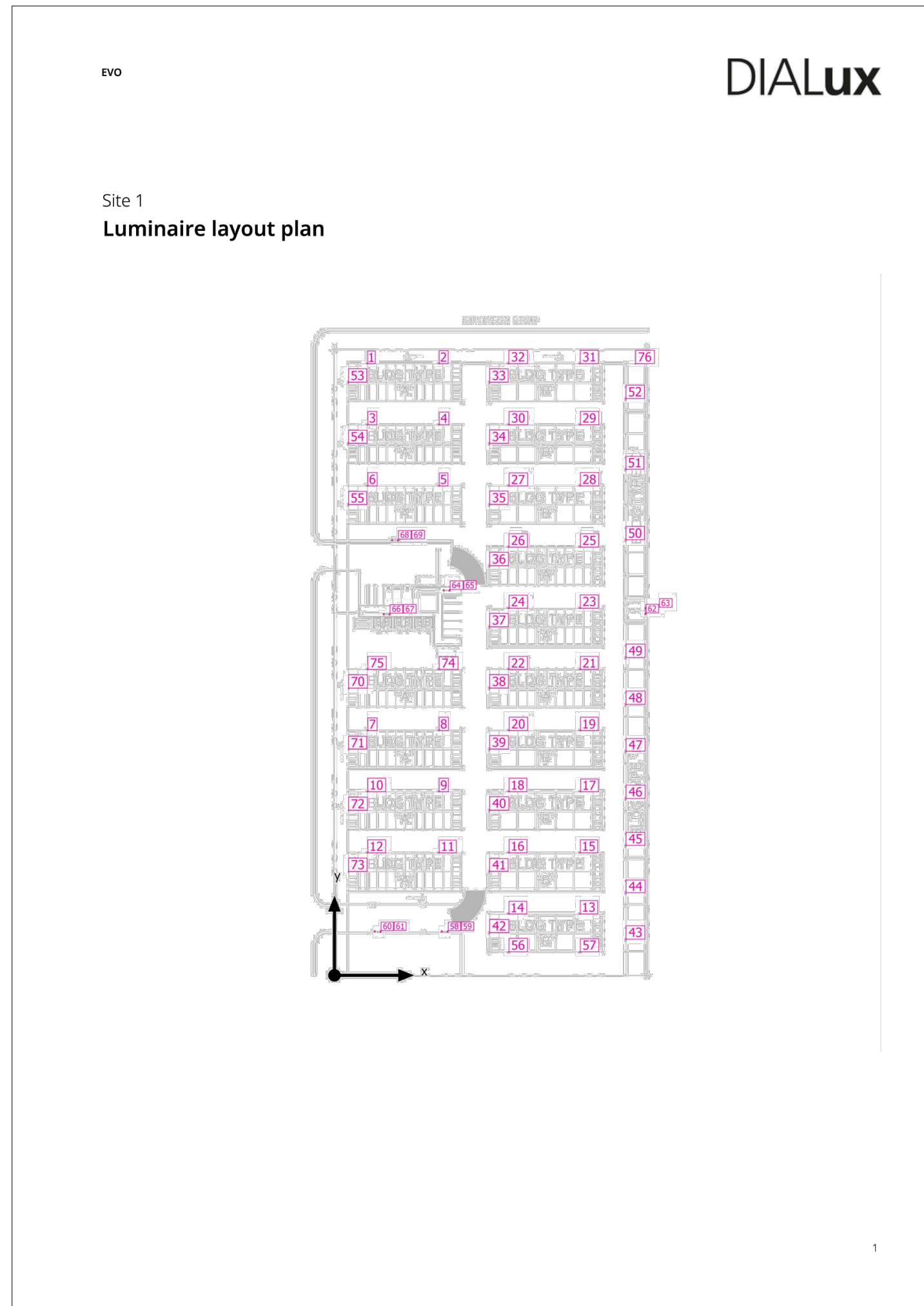


Project Owner
ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

Project
PROPOSED MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN MESA ROAD

SCALE
NTC

Project Number & Sheet Number
ES.3



evo

DIALux

Site 1
Luminaire layout plan

Manufacturer Lithonia Lighting
Article No. DSX1 LED P1 40K T4M MVOLT
Article name DSX1 LED P1 40K T4M MVOLT

Individual luminaires

X	Y	Mounting height	Luminaire
120.288 ft	46.430 ft	20.000 ft	58
114.073 ft	46.586 ft	20.000 ft	59
48.981 ft	46.448 ft	20.000 ft	60
42.765 ft	46.603 ft	20.000 ft	61
330.729 ft	384.281 ft	20.000 ft	62
330.638 ft	390.283 ft	20.000 ft	63
122.402 ft	409.109 ft	20.000 ft	64
116.187 ft	409.265 ft	20.000 ft	65
58.609 ft	383.829 ft	20.000 ft	66
52.394 ft	383.984 ft	20.000 ft	67
67.563 ft	462.586 ft	20.000 ft	68
61.348 ft	462.741 ft	20.000 ft	69

evo

DIALux

Site 1
Luminaire layout plan

Manufacturer Lithonia Lighting
Article No. DSXW1 LED 20C 1000 40K T2M MVOLT
Article name DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 1000mA

Individual luminaires

X	Y	Mounting height	Luminaire
34.851 ft	650.139 ft	12.000 ft	1
110.931 ft	650.139 ft	12.000 ft	2
35.022 ft	585.140 ft	12.000 ft	3
110.899 ft	585.140 ft	12.000 ft	4
110.983 ft	520.141 ft	12.000 ft	5
35.057 ft	520.143 ft	12.000 ft	6
35.004 ft	260.144 ft	12.000 ft	7
110.866 ft	260.144 ft	12.000 ft	8
110.826 ft	195.144 ft	12.000 ft	9
34.980 ft	195.144 ft	12.000 ft	10
110.917 ft	130.145 ft	12.000 ft	11
34.977 ft	130.145 ft	12.000 ft	12
260.864 ft	65.146 ft	12.000 ft	13

evo

DIALux

Site 1
Luminaire layout plan

X	Y	Mounting height	Luminaire
185.039 ft	65.146 ft	12.000 ft	14
260.899 ft	130.145 ft	12.000 ft	15
185.233 ft	130.145 ft	12.000 ft	16
261.201 ft	195.144 ft	12.000 ft	17
185.112 ft	195.144 ft	12.000 ft	18
261.008 ft	260.144 ft	12.000 ft	19
185.268 ft	260.143 ft	12.000 ft	20
260.985 ft	325.143 ft	12.000 ft	21
185.032 ft	325.143 ft	12.000 ft	22
260.848 ft	390.127 ft	12.000 ft	23
185.131 ft	390.127 ft	12.000 ft	24
260.977 ft	455.131 ft	12.000 ft	25
185.034 ft	455.141 ft	12.000 ft	26
185.159 ft	520.141 ft	12.000 ft	27
260.916 ft	520.141 ft	12.000 ft	28
260.903 ft	585.140 ft	12.000 ft	29
185.077 ft	585.140 ft	12.000 ft	30
260.762 ft	650.139 ft	12.000 ft	31
184.839 ft	650.123 ft	12.000 ft	32
164.873 ft	630.040 ft	12.000 ft	33
164.873 ft	565.033 ft	12.000 ft	34
164.873 ft	500.014 ft	12.000 ft	35
164.873 ft	435.018 ft	12.000 ft	36
164.873 ft	370.042 ft	12.000 ft	37

evo

DIALux

Site 1
Luminaire layout plan

X	Y	Mounting height	Luminaire
164.873 ft	304.947 ft	12.000 ft	38
164.873 ft	240.079 ft	12.000 ft	39
164.873 ft	175.120 ft	12.000 ft	40
164.833 ft	110.100 ft	12.000 ft	41
164.871 ft	45.019 ft	12.000 ft	42
309.868 ft	37.973 ft	12.000 ft	43
309.868 ft	87.373 ft	12.000 ft	44
309.868 ft	137.659 ft	12.000 ft	45
309.868 ft	187.519 ft	12.000 ft	46
309.868 ft	237.720 ft	12.000 ft	47
309.868 ft	287.483 ft	12.000 ft	48
309.868 ft	337.385 ft	12.000 ft	49
309.828 ft	462.522 ft	12.000 ft	50
309.828 ft	537.420 ft	12.000 ft	51
309.828 ft	612.617 ft	12.000 ft	52
14.875 ft	630.109 ft	12.000 ft	53
14.835 ft	565.067 ft	12.000 ft	54
14.875 ft	500.050 ft	12.000 ft	55
185.037 ft	24.922 ft	12.000 ft	56
260.864 ft	24.922 ft	12.000 ft	57
14.875 ft	304.823 ft	12.000 ft	70
14.875 ft	240.114 ft	12.000 ft	71
14.875 ft	175.075 ft	12.000 ft	72
14.875 ft	109.949 ft	12.000 ft	73

evo

DIALux

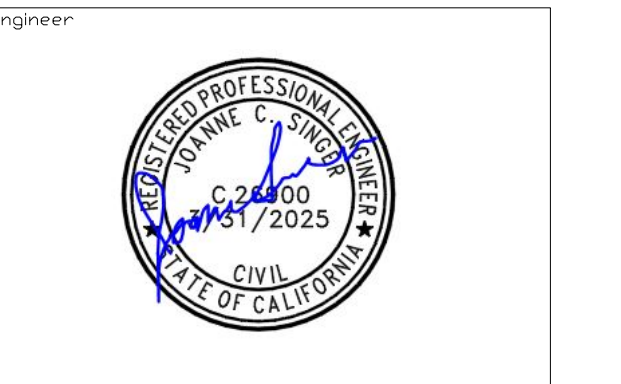
Site 1
Luminaire layout plan

X	Y	Mounting height	Luminaire
110.846 ft	325.113 ft	12.000 ft	74
34.962 ft	325.127 ft	12.000 ft	75
319.686 ft	650.135 ft	12.000 ft	76

PHOTOMETRIC DATA

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Project Owner

ROB BILLINGS
SUN MESA ROAD
YUCCA VALLEY, CA

Project

PROPOSED MINI STORAGE
S.E. CORNER
NEWTON LANE AND SUN MESA ROAD

SCALE

NTC

Project Number & Sheet Number

ES.4

PRELIMINARY GRADING PLAN

SUN MESA ROAD, YUCCA VALLEY, CA

APN: 0597-111-67

LEGAL DESCRIPTION:

TR 8749, MB 120/50-64 SEC. 13, T1N, R5E, S.B.B.&M.
APN: 0597-111-67

BASIS OF BEARING:

THE SOUTHWEST 1/4 OF SECTION 13 PER TRACT 8749, MB 120/50-64 SAID BEARING BEING N00°00'08"E

BENCHMARK:

USGS BM 705 24
ELEVATION = 3718.55 FEET, NAVD 88

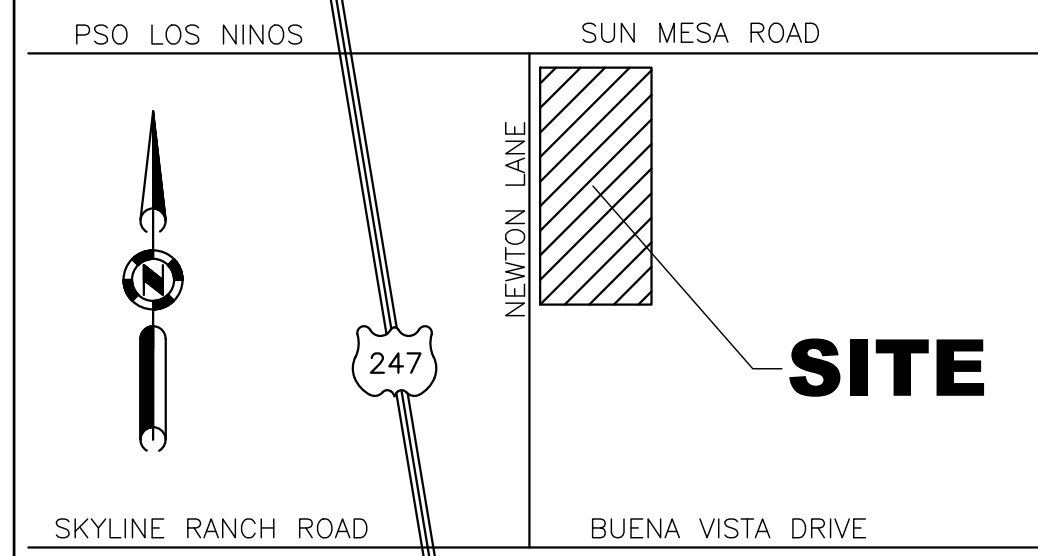
OWNER/DEVELOPER

ROB BILLINGS
5024 WALLABY STREET
YUCCA VALLEY, CA 92284
760-686-4171
BILLINGSTRANSFER@YAHOO.COM

TOPOGRAPHY:

PREPARED BY:
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DESERT HOT SPRINGS, CA 92240
(760) 288-2232
SURVEY@LSAPCONSULTANTS.COM
DATE OF SURVEY JAN 2022

YUCCA VALLEY



VICINITY MAP

LEGEND:

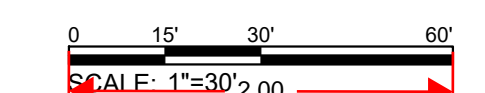
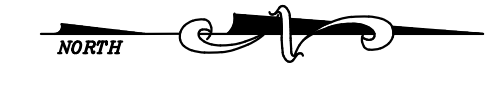
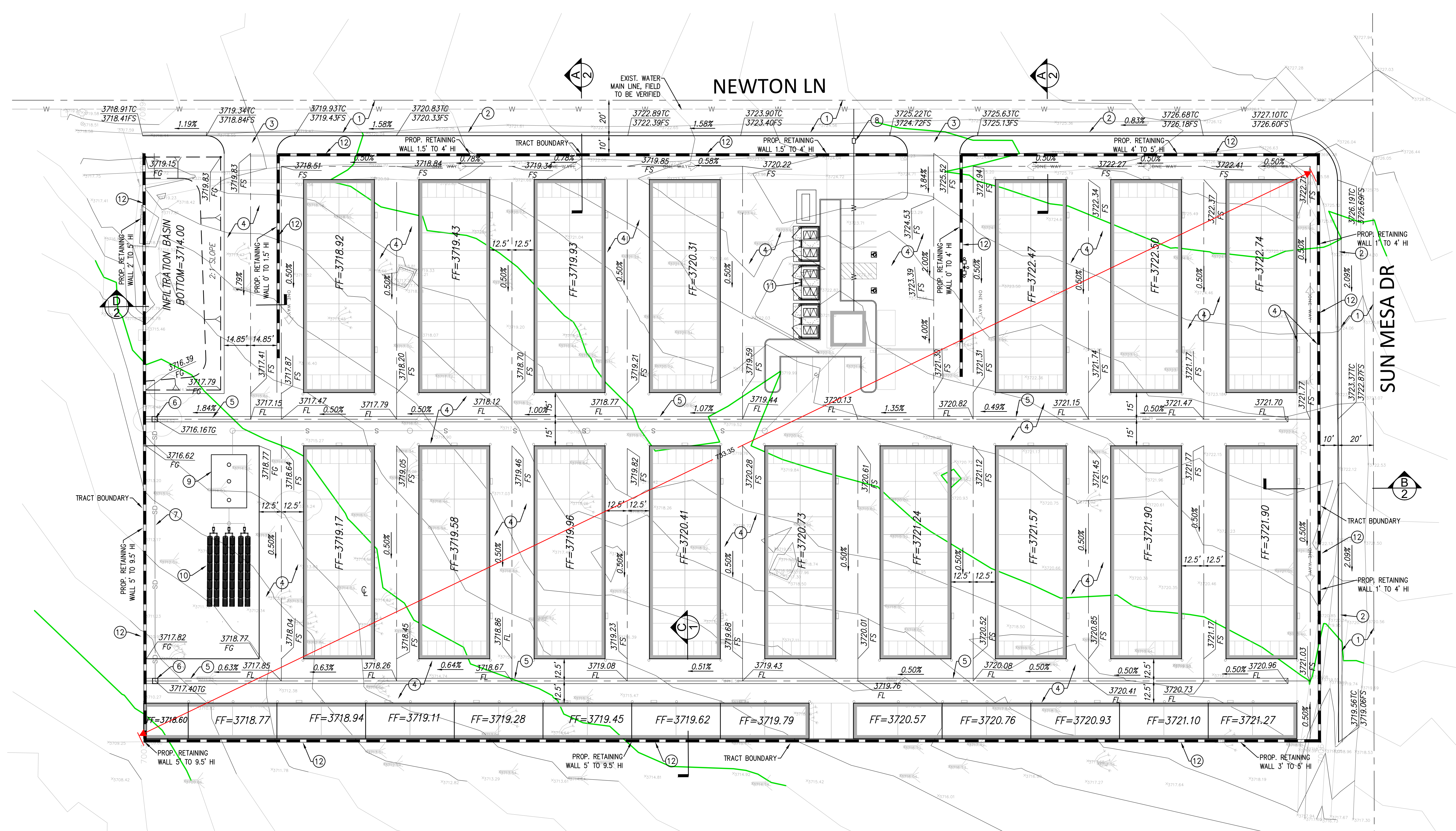
—	CENTERLINE	EP	EDGE OF PAVEMENT
—	PROPERTY LINE	FF	FINISHED FLOOR
—	WATER LINE	FG	FINISHED GROUND
—	SEWER LINE	FL	FLOW LINE
—	ELECTRIC LINE	FS	FINISHED SURFACE
—	GAS LINE	GB	GRADE BREAK
—	EXIST. CHAIN LINK FENCE	HP	HIGH POINT
—	EXIST. WOOD FENCE	INV	INVERT ELEVATION
—	EXIST. BLOCK WALL	PAD	PAD ELEVATION
—	EXIST. CONTOUR LINE	RET.	RETAINING WALL
—	EXIST. SPOT ELEVATION	TC	TOP OF CURB
—	EXIST. FIRE HYDRANT	TG	TOP OF GRATE
—	EXIST. POWER POLE		
—	EXIST. SEWER MANHOLE		
—	EXIST. STORM DRAIN MANHOLE		
—	EXIST. WATER METER		
—	EXIST. WATER VALVE		
—	EXIST. TREE		

CONSTRUCTION NOTE:

- 1 PROPOSED AC PAVEMENT
- 2 PROPOSED 6" CURB AND GUTTER
- 3 PROPOSED DRIVEWAY APPROACH
- 4 PROPOSED CONC. PAVEMENT
- 5 PROPOSED CONC. RIBBON GUTTER
- 6 PROPOSED 36"x36" CATCH BASIN WITH TRAFFIC RATED STEEL GRATE
- 7 PROPOSED 18" RCP
- 8 PROPOSED 1" SERVICE METER
- 9 PROPOSED SEPTIC TANK
- 10 PROPOSED LEACH FIELD
- 11 TRASH ENCLOSURE
- 12 PROPOSED RETAINING WALL

EARTHWORK VOLUMES:

TOTAL CUT - 4970 CY
TOTAL FILL - 4485 CY
* SEE EARTHWORK EXHIBIT FOR INFORMATION ON CUT-FILL BY LOCATION MAP.



SHEET 1 OF 2



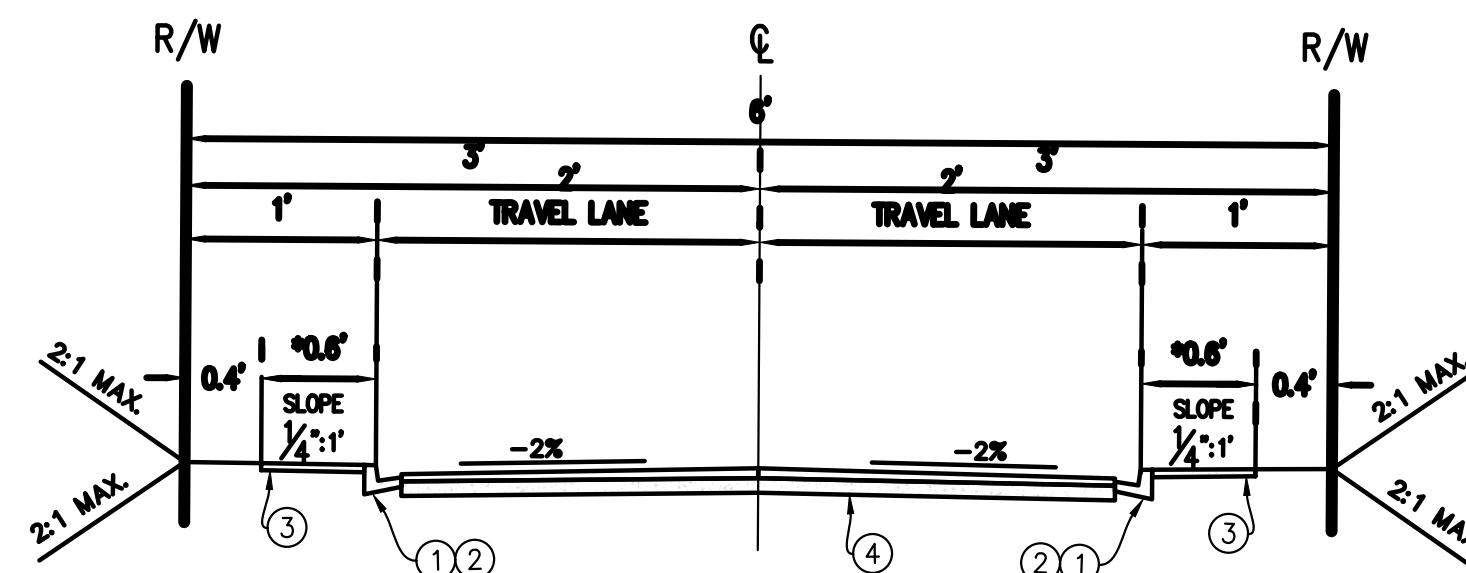
DRP ENTERPRISES LLC
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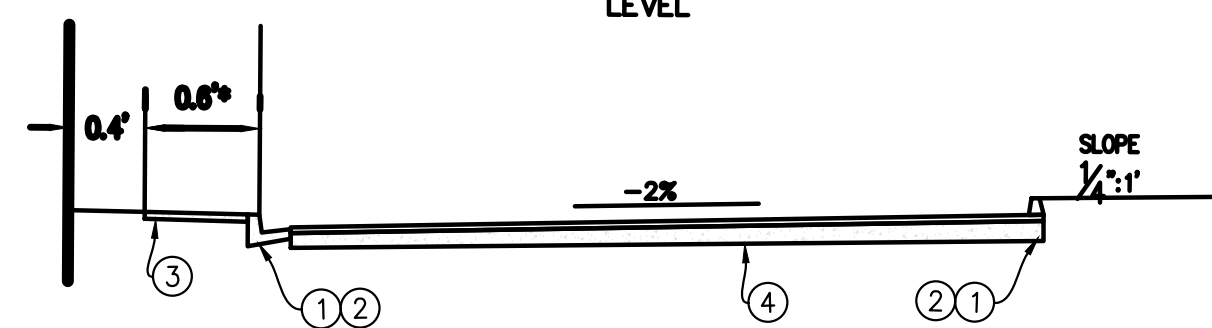
PRELIMINARY GRADING PLAN

SUN MESA ROAD, YUCCA VALLEY, CA

APN: 0597-111-67



TYPICAL SECTION
LEVEL



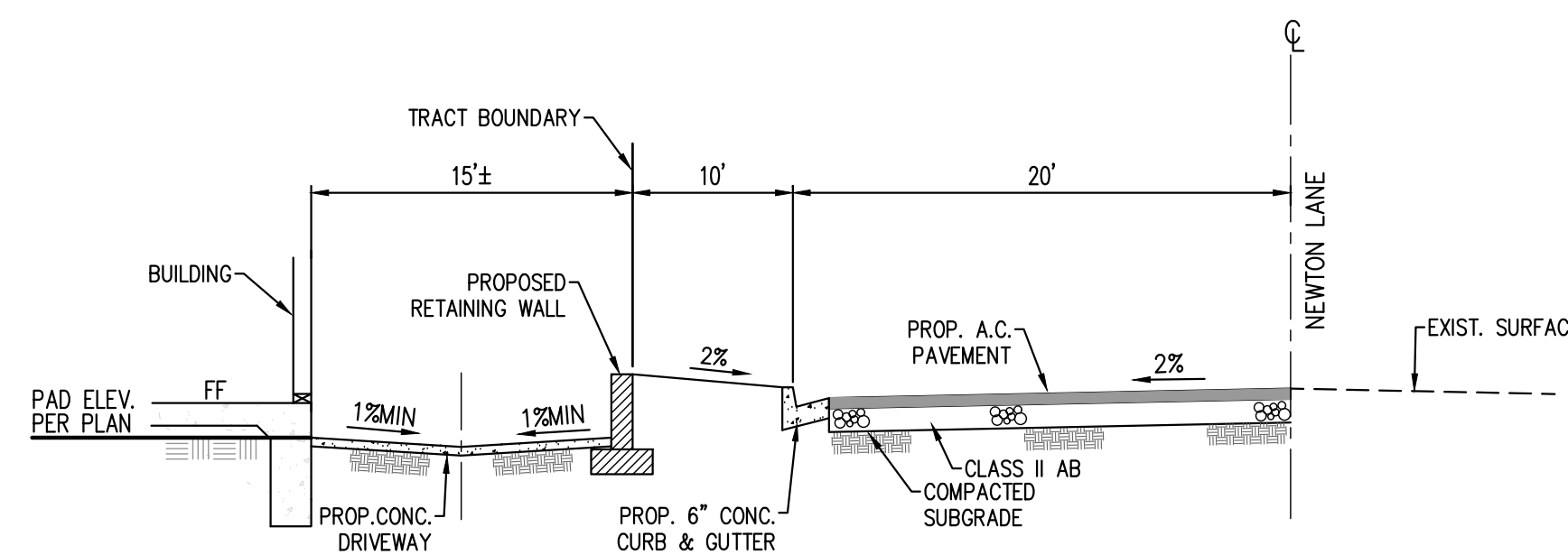
TYPICAL SECTION
TILT

NOTES:

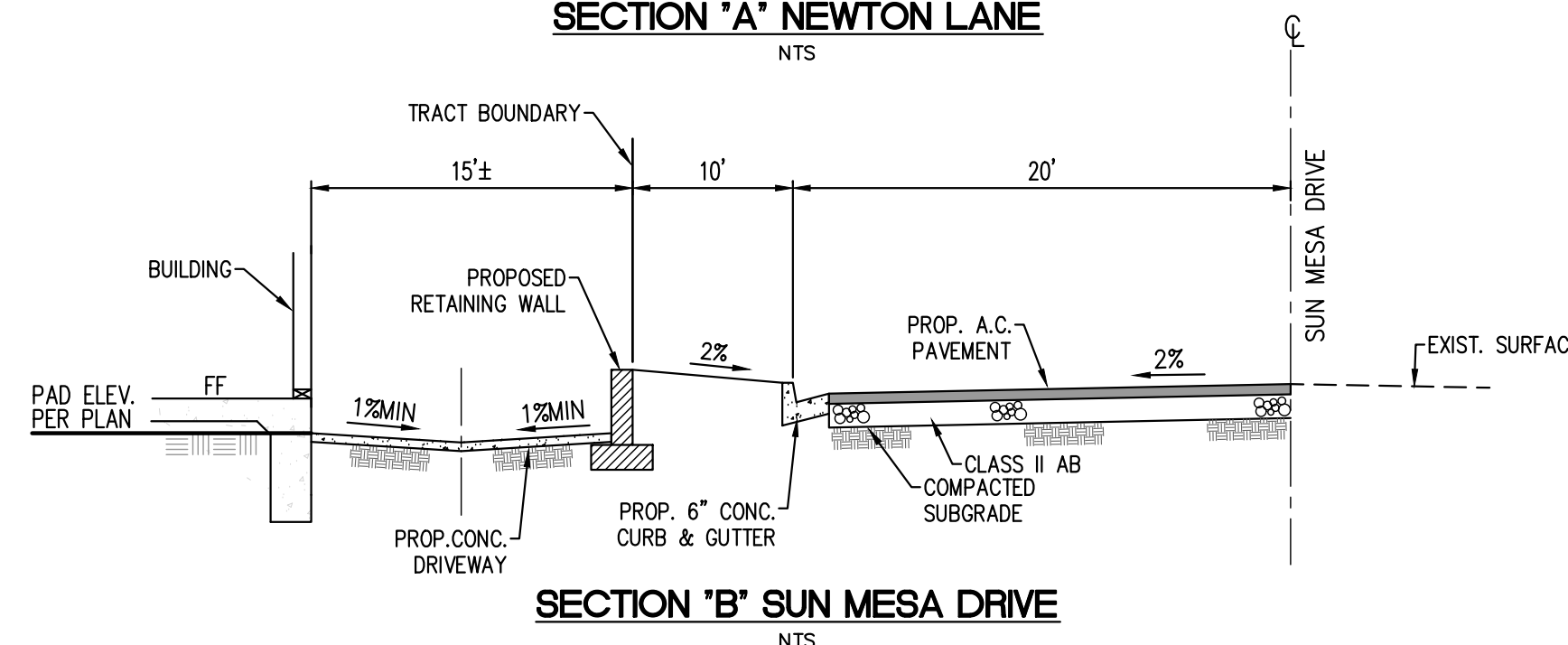
- ① CURB AND GUTTER STD. DWG. NO. 200
- ② A.C. DIKE PER STD DWG. 202 **
- ③ SIDEWALK PER STD. DWG. NO. 220
- ④ PAVEMENT SECTION PER STD. DWG. NO. 240

*SIDEWALK REQUIREMENT PER DEVELOPMENT CODE
 **LIMITED USE, SHORT TERM IMPROVEMENT PROJECTS

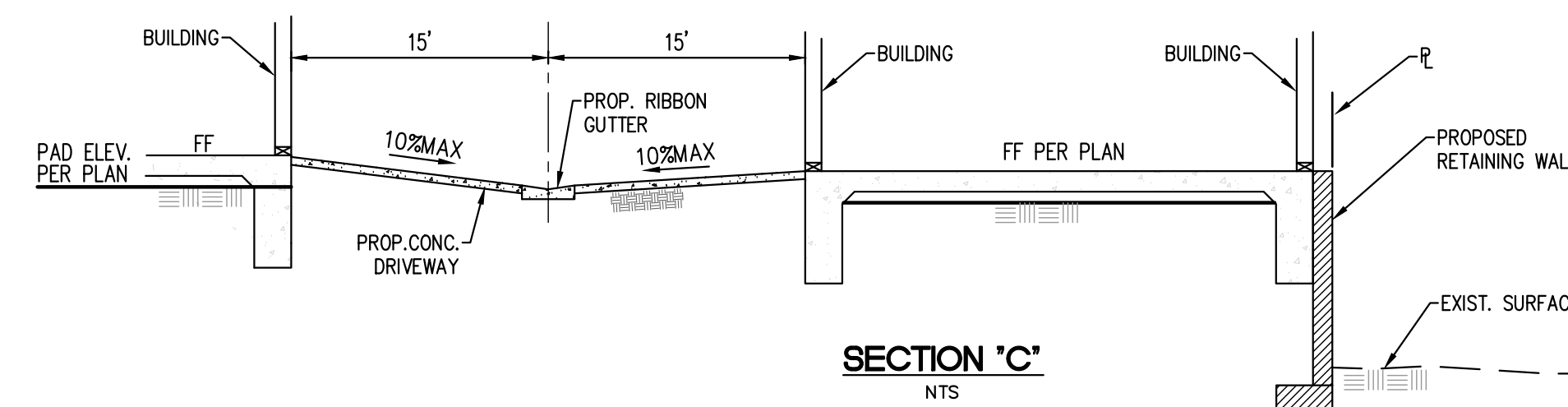
LOCAL STREET SECTION SUN MESA-NEWTON LN
 NOT TO SCALE



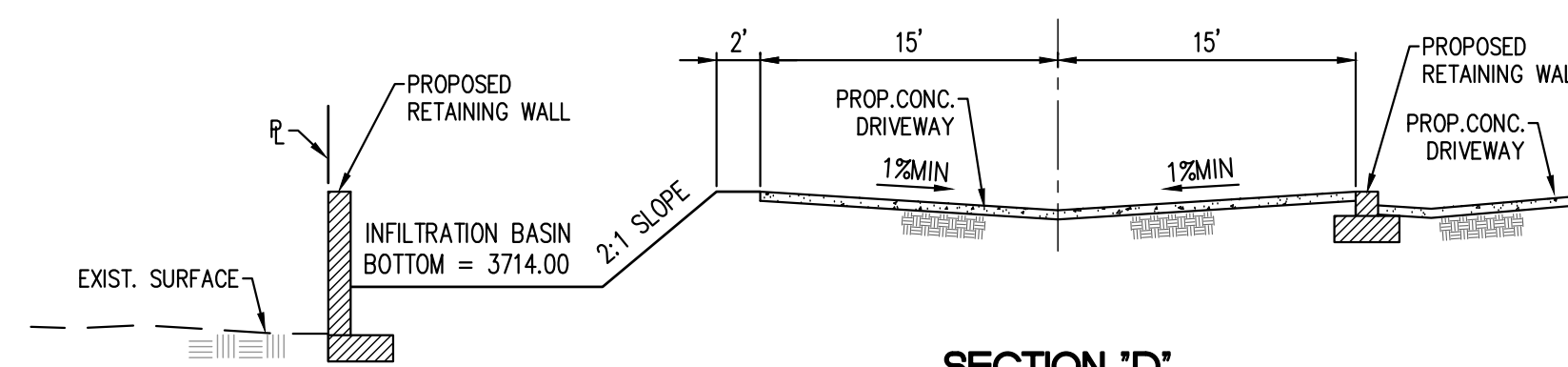
SECTION "A" NEWTON LANE
 NTS



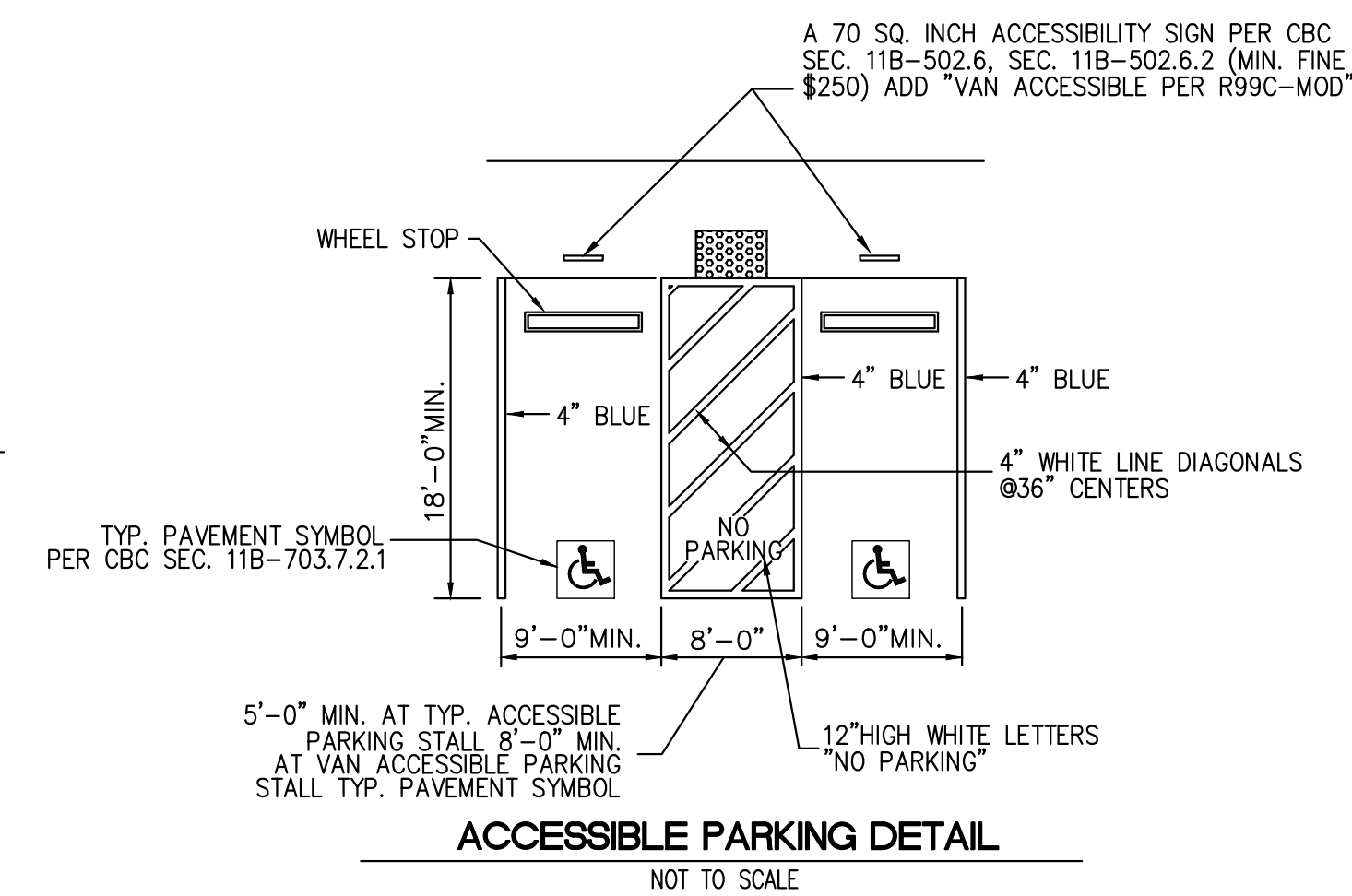
SECTION "B" SUN MESA DRIVE
 NTS



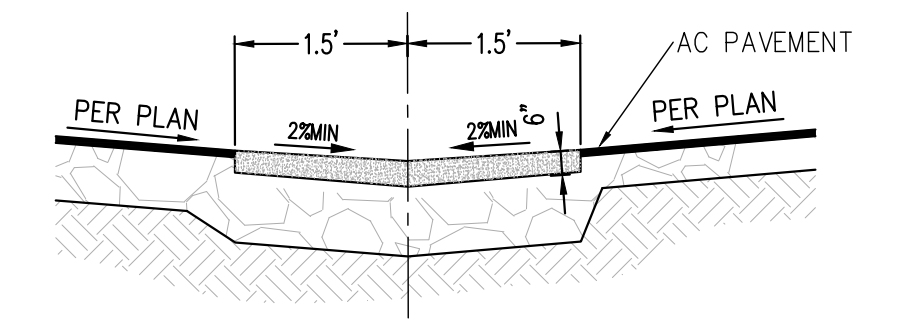
SECTION "C"
 NTS



SECTION "D"
 NTS



ACCESSIBLE PARKING DETAIL
 NOT TO SCALE



RIBBON GUTTER DETAIL
 N.T.S.



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