



Prepared for:



Town of Yucca Valley
58928 Business Center Drive
Yucca Valley, CA 92284

Approved by the Town Council
August 14, 2008
As Amended June 2025

Yucca Valley Retail Specific Plan

Prepared for

Town of Yucca Valley
58928 Business Center Drive
Yucca Valley, CA 92284

Prepared by

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Approved by the Town Council
August 2008
Amended June 2025

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SECTION 1: PLAN OVERVIEW

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1.1 - INTRODUCTION (PURPOSE & AUTHORITY)

The Yucca Valley Retail Center Specific Plan has been prepared pursuant to the provisions of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, and Sections 65450 through 65457. The California Government Code authorizes jurisdictions to adopt Specific Plans by resolution as policy documents or by ordinance as regulatory documents. The law allows preparation of Specific Plans, as may be required for the implementation of the General Plan, and further allows for their review and adoption. Article 13 of Title 8, Division 3, Chapter 3 of the Development Code of the Town of Yucca Valley, provides the requirements and procedures for preparation and processing of Specific Plans in the Town. Specific Plans act as a bridge between the General Plan and individual development proposals. Specific Plans combine development standards and guidelines, capital improvement programs and financing methods into a single document that is tailored to meet the needs of a specific area.

The Yucca Valley Retail Specific Plan, when adopted, will serve to implement the General Plan land use designation of “General Commercial” and zoning designation of “General Commercial District” for the project area. This Specific Plan establishes the development requirements and design guidelines to be applied to all development within the project area.

1.2 - PROJECT LOCATION

The project site encompasses approximately 25 acres located at the southeast corner of the intersection of Twentynine Palms Highway (State Highway 62) and Avalon Avenue. The legal description for the proposed project site is contained in Appendix A. The location of the project site is illustrated in Figure 1-1, “Regional Location” and Figure 1-2, “Project Vicinity.”

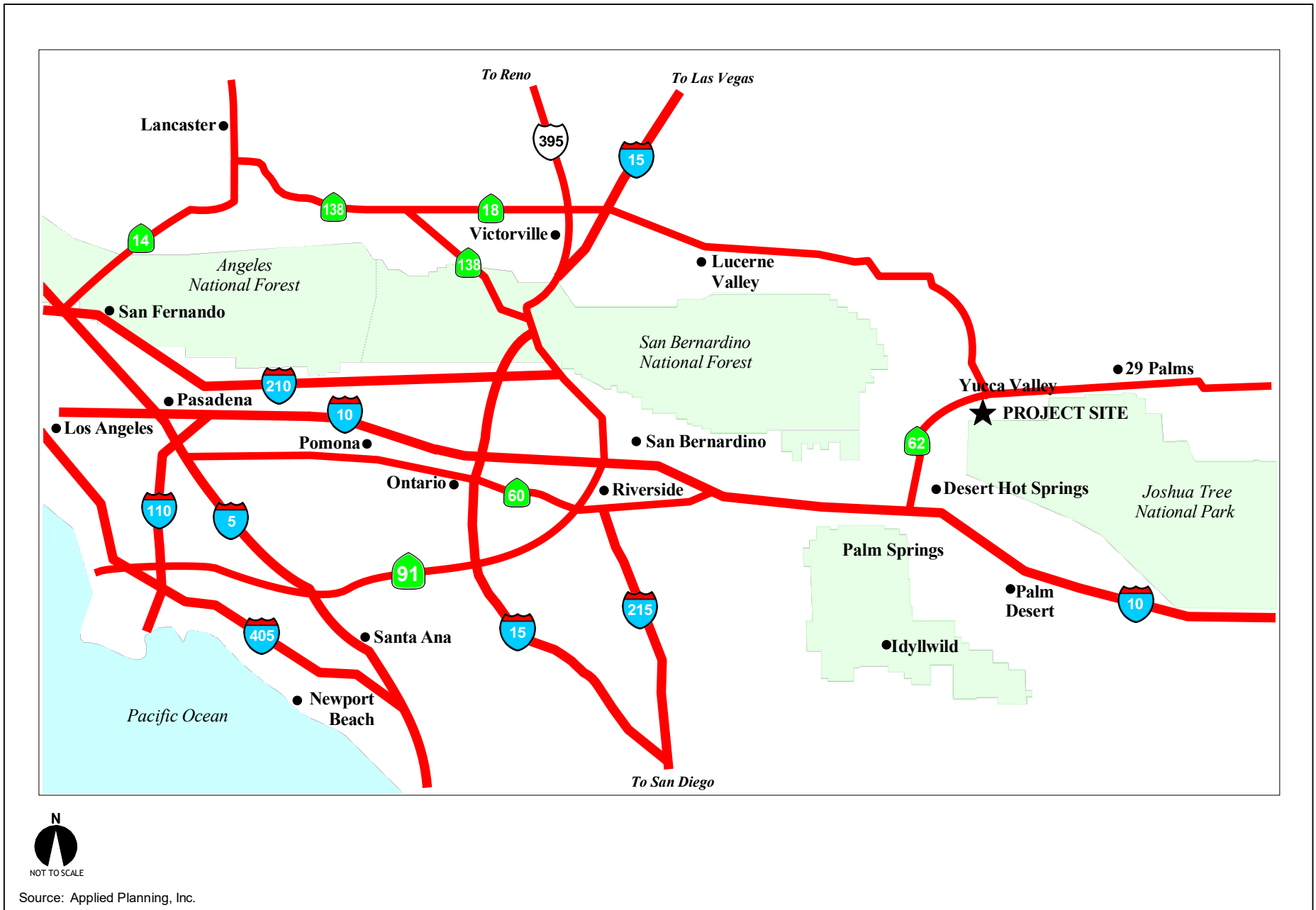
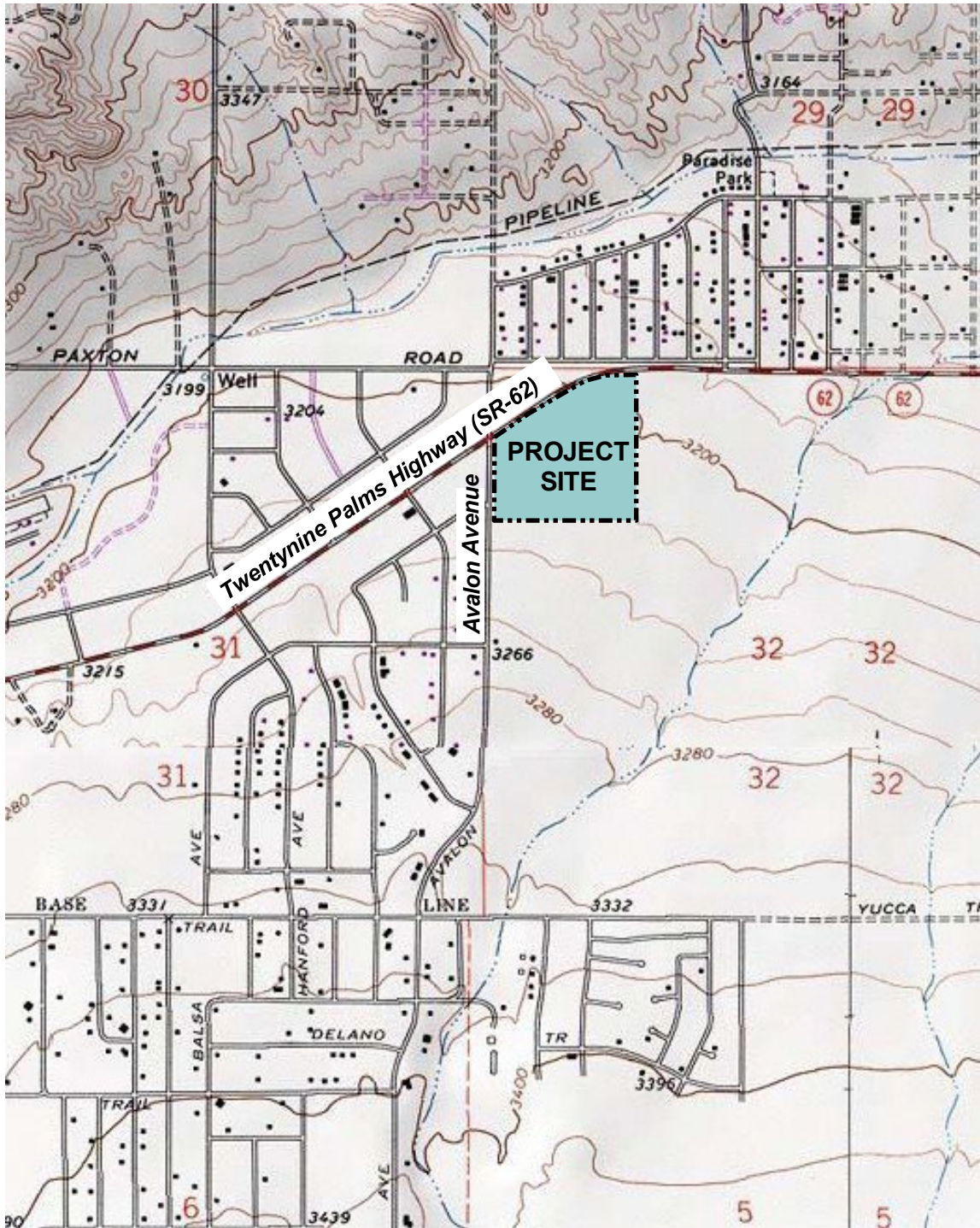


Figure 1-1
Regional Location



NOT TO SCALE

Source: Applied Planning, Inc.
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Figure 1-2
 Project Vicinity

1.3 - PROJECT SETTING AND SITE FEATURES

The project site is designated by the General Plan of the Town of Yucca Valley as General Commercial, and the zoning is General Commercial District (C-G), and includes a Specific Plan (SP) overlay.

Existing Site Features

The average elevation of the project site is approximately 3,200 feet above mean sea level. The site slopes from the south to north with approximately 35 feet difference in elevation from the extension of Palisade Drive to State Highway 62.

The site is currently vacant land covered with native brush. Joshua trees and creosote bush are the dominant vegetative species. There are approximately 129 Joshua trees and two (2) Mojave Yucca within the project impact area where grading will occur. The Native Plant Survey (Appendix C) indicates that approximately 92 trees were determined to be salvageable. Both Yuccas are expected to be translocated successfully. The integration of these plants within the project landscape plan is described in Section 4.3, Landscape Concept.

Surrounding Land Use Designations

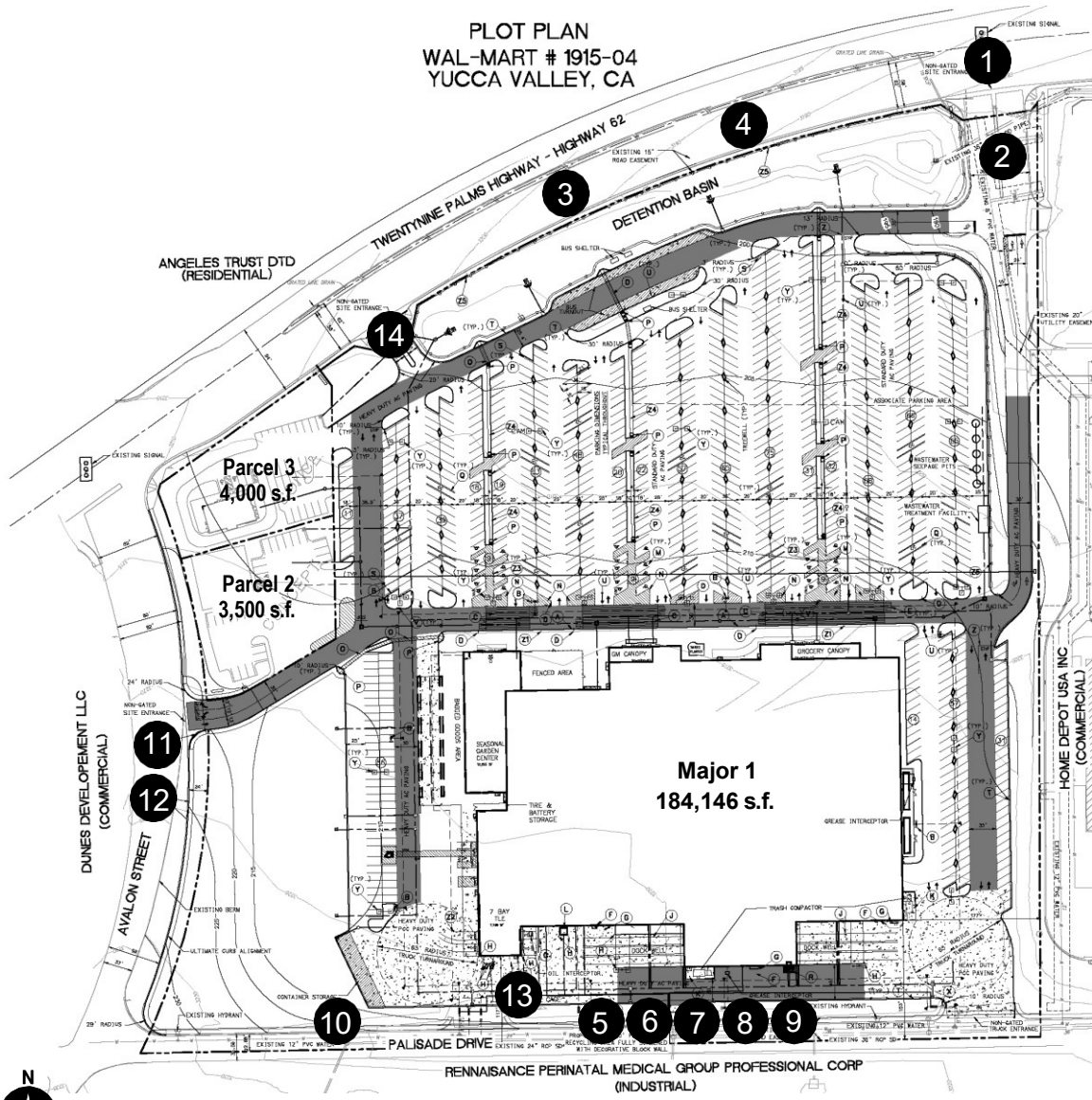
The project site is currently designated C-G, General Commercial. Property to the east is also designated C-G, and a Home Depot store has recently been constructed on this property. Property to the south is zoned I, Industrial and is currently vacant.

As previously mentioned, the adjacent property to the east has been recently developed for retail uses, including a Home Depot. This project will share a common entrance and exit on State Highway 62 with the Yucca Valley Retail Center.

The development of the project will require the construction of improvements, as shown on Figure 1-3. As part of the development of the adjacent Home Depot project, a number of off-site improvements were previously constructed that will serve both the proposed project and the Home Depot project. The proposed project is required to participate in a reimbursement arrangement for these improvements. Following is a list of the off-site improvements previously constructed to serve both projects:

1. Install Traffic Signal at State Highway 62 and the proposed primary project entrance (shared with the Home Depot Retail Center to the east of the project site).
2. Construct a shared driveway south of the new signalized intersection on State Highway 62.
3. Construct street improvements on the south side of State Highway 62 including medians along the street frontages of the Yucca Valley Retail Center and The Home Depot Retail Center.
4. Construct catch basins and install drain pipes on State Highway 62 along the street frontages.
5. Construct permanent storm drain inlet structures and storm drain pipes in Palisade Drive.
6. Grade Palisade Drive southerly of the project site for improvements described in item 7 below.
7. Install a 12" Water Line in Palisade Drive southerly of the project site.
8. Construct 35-foot wide Palisade Drive southerly of the project site including: curb, gutter, sidewalk, and travel lanes on the north side of the street centerline and one lane on the south side of the street centerline.

PLOT PLAN
WAL-MART # 1915-04
YUCCA VALLEY, CA



- Off-Site Improvements -
Previously Constructed**
1. Traffic Signal
 2. Shared Driveway
 3. Street Improvements
 4. Catch Basins/Drain Pipes
 5. Storm Drain Inlet/Storm Drain Pipes
 6. Grade Palisade Drive
 7. Install 12" Water Line
 8. Construct 35'- Wide Palisade Drive
 9. Install T-valves
 10. Fire Hydrants

- Off-Site Improvements -
To Be Constructed**
11. Widen Avalon Avenue
 12. Construct curbs, gutters, sidewalk and travel lanes
 13. Secondary Driveway from Palisade Drive
 14. Secondary Driveway from State Highway 62



Source: Nasland Engineering, Applied Planning, Inc.

Figure 1-3
Off-Site Improvements

9. Provide connection or T-valves at 300-foot intervals along Palisade Drive east of Avalon Avenue, southerly of the project site.
10. Provide fire hydrants at 300-foot intervals along the Yucca Valley Retail Center street frontage at Palisade Drive.

The following is a list of additional off-site improvements which will be constructed and funded as part of the Yucca Valley Retail Center:

11. Widen Avalon Avenue to allow full turn movements at the Yucca Valley Retail Center Driveway.
12. On Avalon Avenue, construct curbs, gutters, sidewalk and travel lanes on the east side of the centerline of Avalon Avenue. Median and traffic lane striping will be provided at Avalon Avenue.
13. Construction of a secondary driveway from Palisade Drive.
14. Construction of a secondary (right-in/right/out) driveway from improved State Highway 62 near the westerly property line.

1.4 - RELATIONSHIP TO THE GENERAL PLAN AND ZONING ORDINANCE

The Yucca Valley Retail Center Specific Plan implements the goals and policies of the Town of Yucca Valley General Plan within the Specific Plan area. The goals and objectives found in the Land Use Element support the Town's desire to continue to create a future in which the traditional character of the Town is preserved and enhanced by new development. Appendix B, the General Plan Consistency Analysis, demonstrates how the Yucca Valley Retail Center implements applicable goals and objectives of the General Plan. Various land use goals that support a viable economic future direction for the Town while preserving its traditional character are described.

Because an adopted specific plan must be consistent with the Town General Plan, all projects that are found to be consistent with this Specific Plan are deemed consistent with the General Plan.

The Yucca Valley Retail Center Specific Plan works in concert with the Town of Yucca Valley Development Code, but provides additional development standards and guidelines that are customized to achieve the specific vision for the project area. The Town's zoning standards are utilized for certain aspects, such as parking, while the Specific Plan provides other standards that are tailored to the Yucca Valley Retail Center. Development projects and new uses shall be subject to the review procedures, findings and provisions of the Town of Yucca Valley Development Code and the provisions of this Specific Plan. Related and/or subsequent approvals, such as Conditional Use Permits, Site Plan Reviews, and Parcel Maps, must be consistent with both the guidelines of the Yucca Valley Retail Center Specific Plan and the Town's Development Code.

Where development regulations in this Specific Plan differ from those established in the Town Code, the provisions of the Yucca Valley Retail Specific Plan shall prevail. Where this Specific Plan is silent on a development regulation, the Town Code shall prevail.

1.5 - PROJECT OBJECTIVES

The purpose of the Yucca Valley Retail Specific Plan is to define the range of permitted uses, development regulations, requirements, and design guidelines for the development of the project area. Implementation of this Specific Plan will accomplish the following objectives:

- Provide for the orderly and master planned development of land uses within the project area, to ensure that an economically viable project or projects can be developed.

- Allow the potential for development of high quality commercial uses within an undeveloped portion of the Town.

1.6 - COMPLIANCE WITH CALIFORNIA ENVIRONMENTAL QUALITY ACT

Adoption or amendment of a Specific Plan constitutes a project under the California Environmental Quality Act (CEQA). An Environmental Impact Report (EIR) SCH# 2005051047 has been prepared in accordance with the CEQA Guidelines (CCR, Title 14, Division 6, Chapter 3 Section 15000-15387), and Guidelines Section 15161 ('Project EIR') in particular, to analyze the environmental impacts of the Yucca Valley Retail Center Specific Plan. The EIR establishes the existing, on-site environmental conditions and evaluates the potential impacts of this Specific Plan. The EIR references project design features and includes various mitigation measures that will be implemented through either the Mitigation Monitoring Plan or Conditions of Approval.

SECTION 2: LAND USE

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2.1 - LAND USE PLAN

The project area is approximately 25 acres in size and is generally bounded by State Highway 62 to the north, developed lands to the east, Palisade Drive to the south, and Avalon Avenue to the west. Please also refer to Figure 2-1, “Specific Plan Land Use Concept.” A general description of uses proposed within the Specific Plan is provided below.

2.2 - LAND USE SUMMARY

Parcel 1 (23.85 acres [ac]) will be developed with approximately 184,146 square feet (s.f.) single retail use, associated parking, a fuel station including a convenience store and fueling canopy with up to 12 fueling positions, and a stormwater retention basin. Parcel 2 (0.75 acres) will be developed with a 3,500 s.f. retail use. Parcel 3 (0.84 acres) will be developed with a 4,000 s.f. fast-food restaurant use. Open space areas throughout the site will be landscaped in accordance with the approved plant palette and will serve a variety of functions, including separation and buffering from adjacent uses, providing visual amenity, and stormwater detention. A summary of proposed land uses is presented in Table 2-1. Additional specificity regarding these uses is presented in Section 3.0, “Commercial Use Regulations” of this document.

Table 2-1

Yucca Valley Specific Plan Land Use Summary

Land Use	Parcel Area	Building Area	Comments
Parcel 1	23.85 ac	184,146 s.f. retail 1,556 s.f. convenience store	General merchandiser with grocery sales and garden center, a fuel station with canopy, dispensers, and a convenience store, and a stormwater retention basin
Parcel 2	0.75 ac	3,500 s.f.	Retail
Parcel 3	0.84 ac	4,000 s.f.	Fast-Food Restaurant
Total	25.44 ac	193,202 s.f.	

58501 TWENTY NINE PALMS HWY., YUCCA VALLEY, CA 92284
OVERALL SITE PLAN

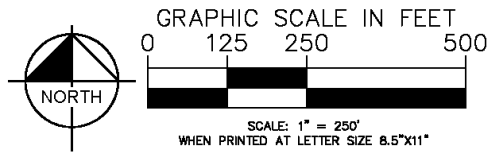
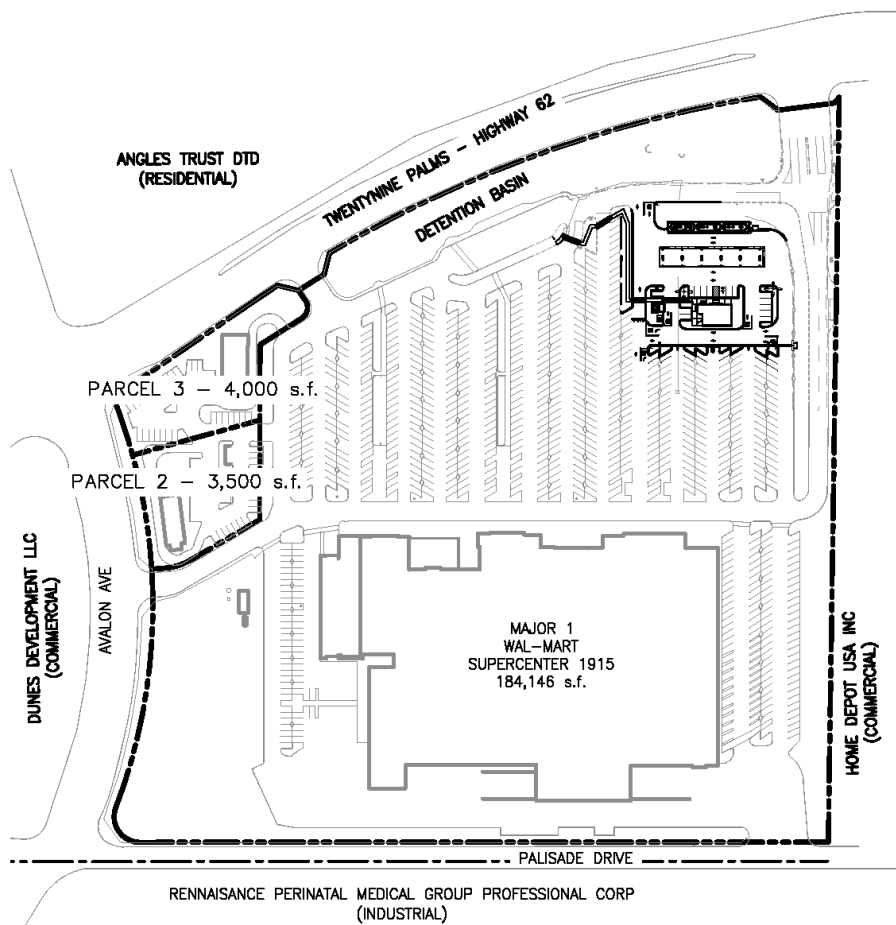


Figure 2-1
Specific Plan Land Use Concept

SECTION 3: COMMERCIAL USE REGULATIONS

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3.1 - GENERAL PROVISIONS

The regulations provide for implementation of a General Commercial (C-G) District classification as a community-level commercial shopping center, anchored by a retail store consisting of a total of 184,146 square feet, with all appurtenant structures and facilities for the sale of general merchandise, groceries, liquor and other alcoholic beverages, including without limitation, a garden center, truck docks and loading facilities, tire and lube facilities, outdoor sale facilities, a bagged goods pick-up area, rooftop proprietary satellite communication facilities and parking facilities. The store may contain, without limitation, a drive thru pharmacy, a vision care center, a food service center, a photo studio, a photo finishing center, a banking center and an arcade. The store may, among other things, carry pool chemicals, petroleum products, pesticides, paint products, firearms and ammunition. The store may be developed in more than one phase and will operate on a 24-hour basis.

The standards set forth in this section will ensure that future development proceeds in a manner consistent with Town requirements and design guidelines. Upon adoption of the Yucca Valley Retail Center Specific Plan by the Town of Yucca Valley, this Specific Plan shall be the zoning document for the subject property, superseding other zoning designations and development standards of the Town of Yucca Valley as described herein. If not specifically addressed in this Specific Plan, the applicable provisions of the Town of Yucca Valley Development Code shall apply.

3.2 - PERMITTED USES

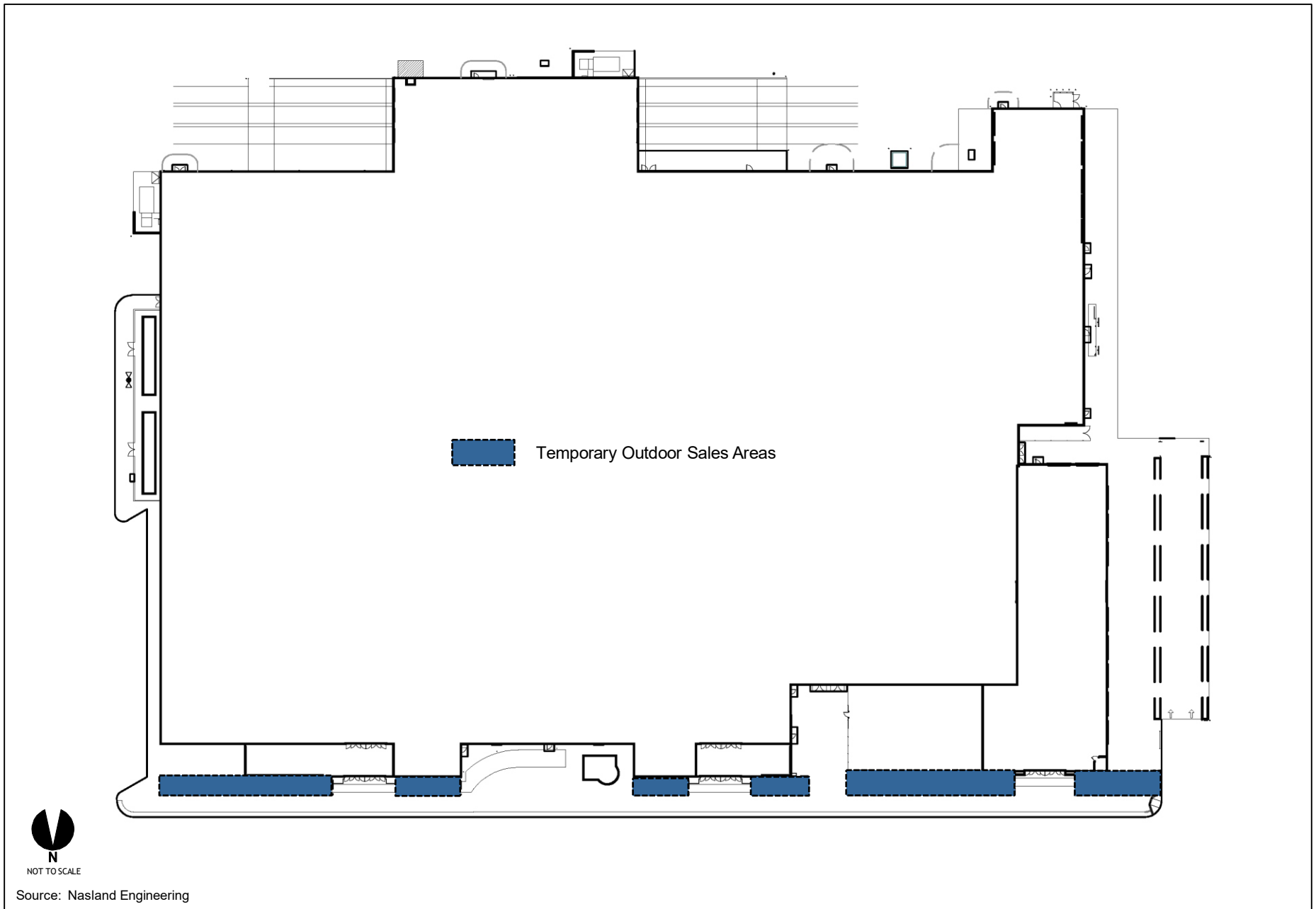
Those uses specified below and in Section 84.0350 of the Town of Yucca Valley Development Code (CG-General Commercial District) shall apply.

3.2.1 Principal Uses: The following uses shall be permitted, subject to approval of a Site Plan Review, as specified in Section 6.2 herein:

- a. General Retail Merchandiser, including:
- The sale of general merchandise, including groceries, liquor and other alcoholic beverages. The store may, among other things, carry pool chemicals, petroleum products, pesticides, paint products, firearms and ammunition.
 - A garden center.
 - Tire and lube facilities.
 - A drive thru pharmacy.
 - A vision care center.
 - A food service center.
 - A photo studio.
 - A medical clinic.
 - A photo finishing center.
 - A banking center.
 - An arcade.
 - A bagged goods pick-up area.
 - Truck docks and loading facilities.
 - Outdoor sale facilities.
 - Rooftop proprietary satellite communication facilities, which will be screened by the parapet wall.
 - Parking facilities.
- b. Restaurant, including:
- Full-service restaurant.
 - Fast food with drive-thru, take out, delivery.
- c. Automobile gas station
- d. Other Commercial Uses designated 'SPR' Site Plan Review in Section Table 2-15 of the Development Code.

3.2.2 Operations: The following describes the operations of the major tenant of the Yucca Valley Retail Center, which are part of the primary retail sales as listed in Section 3.2.1, a.

- a. Outdoor Seasonal Garden Area - Approximately 10,000 square feet. A minimum of eight special events per year lasting no more than two weeks, exclusive of the holiday season, including the period from Thanksgiving through New Year's Day.
- b. The project will be permitted, by right, to leave the outdoor display items along the front of the store overnight, in specified areas shown in Figure 3-1. Additionally, tents and awnings will be used in conjunction with seasonal sales and enclosed by a chain link fence for security.
- c. The project will be permitted, by right, to display merchandise in front of the store in designated areas on a daily basis. These areas are shown in Figure 3-1.
- d. The project will be permitted, by right, to place vending machines in vestibules inside the store.
- e. The project will be permitted, by right, to install pay phones in vestibules inside the store.
- f. The major anchor will be permitted, by right, to operate the store 24 hours.



3.2.3 Uses Permitted Subject to a Conditional Use Permit: The following uses may be permitted on the project site, subject to approval of a Conditional Use Permit:

- a. Arcade (Freestanding)
- b. Automobile rental
- c. Convenience store
- d. Entertainment, live (excluding adult entertainment)
- e. Fitness centers
- f. Maintenance & repair services: major

3.3 - DEVELOPMENT STANDARDS

The following Property Development Standards shall apply.

Maximum Structure Height	40 feet
Minimum Lot Size	0.70 acre
Maximum Building Lot Coverage	60 percent
Maximum Lot Dimension (width to depth ratio)	1:3
Minimum lot dimensions (width to depth ratio)	120 feet x 120 feet
Front Yard Setback	15 feet
Side Yard Setbacks	10 feet (only one side yard is required to provide emergency access. If the adjacent property is not designated commercial or industrial, a side yard shall be required along that side of the property.)
Rear Yard Setback	10 feet (A rear yard is required only when the adjacent property is not designated commercial or industrial.)
Street Side Setbacks	10 feet
Maximum Floor Area Ratio (FAR - FI. Area/Lot Area)	1.20
Minimum District Size	5 acres

Fuel Station Development Standards

The minimum structure setback from street property lines shall be forty feet (40'), unless otherwise approved by the Planning Commission for a reverse designed fueling service station (where rear of structure is placed adjacent to the street property line(s)).

- The minimum structure setback from other property lines shall be ten feet (10').
- The minimum standard width of driveways at the sidewalk shall be thirty feet (30').
- The centerline of driveways shall be perpendicular to the curb line.
- The minimum distance from any driveway to any interior property line shall be five feet (5'), and the minimum radius of the curb return for the driveway shall be twenty feet (20') from full height curb on the street.
- The minimum distance between curb cuts shall be thirty feet (30').

Fuel Pumps

All pump of fuel dispensing islands shall be set back a minimum of fifteen feet (15') from the closest property line. The maximum number of pumps or individual fuel dispensing appliances shall be as follows:

- Site size of twelve thousand (12,000) square feet or less shall be limited to eight (8) pumps or individual fuel dispensing appliances.
- Two (2) pumps or individual fuel dispensing appliances may be added for each additional two thousand (2,000) square feet of site area.

3.4 - PARKING REQUIREMENTS

Parking for the major tenant of the Yucca Valley Retail Center shall be provided at a ratio of 1 space per 250 square feet of building area. All other land uses shall provide parking in compliance with the Yucca Valley Development Code.

Accessory uses associated with the fueling service station shall be parked as follows:

- Accessory uses (e.g., car wash and/or minimarket, fast food restaurant) may be allowed subject to meeting off street parking standards for each accessory use.
- The total number of off street parking spaces shall be the sum total required for the various uses separately.

SECTION 4: DESIGN GUIDELINES

SECTION 4: DESIGN GUIDELINES

4.1 - GRADING CONCEPT

The existing topography of the site could generally be described as a sloped desert landscape. The site naturally drains from a northwest to southwest direction.

The proposed grading concept, presented in Figure 4-1, illustrates the extent of grading required to achieve the design concept for the Project. This grading plan will provide level building pads for the proposed structures, assure safe and adequate drainage patterns across the project site, and manage the conveyance of storm water run-off to appropriate discharge and/or detention facilities. The finish grade would generally drain in a south to north direction.

In addition, grading will occur as part of the construction of the shared off-site improvements as part of the Phase 1 improvements listed in Section 6.1. The easements for these improvements will be a condition on the subdivision maps for the project. The Grading Plan is designed to follow the requirements of the Town of Yucca Valley development ordinances and is to be submitted to the Town for review, approval, and permit issuance prior to the initiation of grading.

58501 TWENTY NINE PALMS HWY., YUCCA VALLEY, CA 92284
OVERALL GRADING PLAN

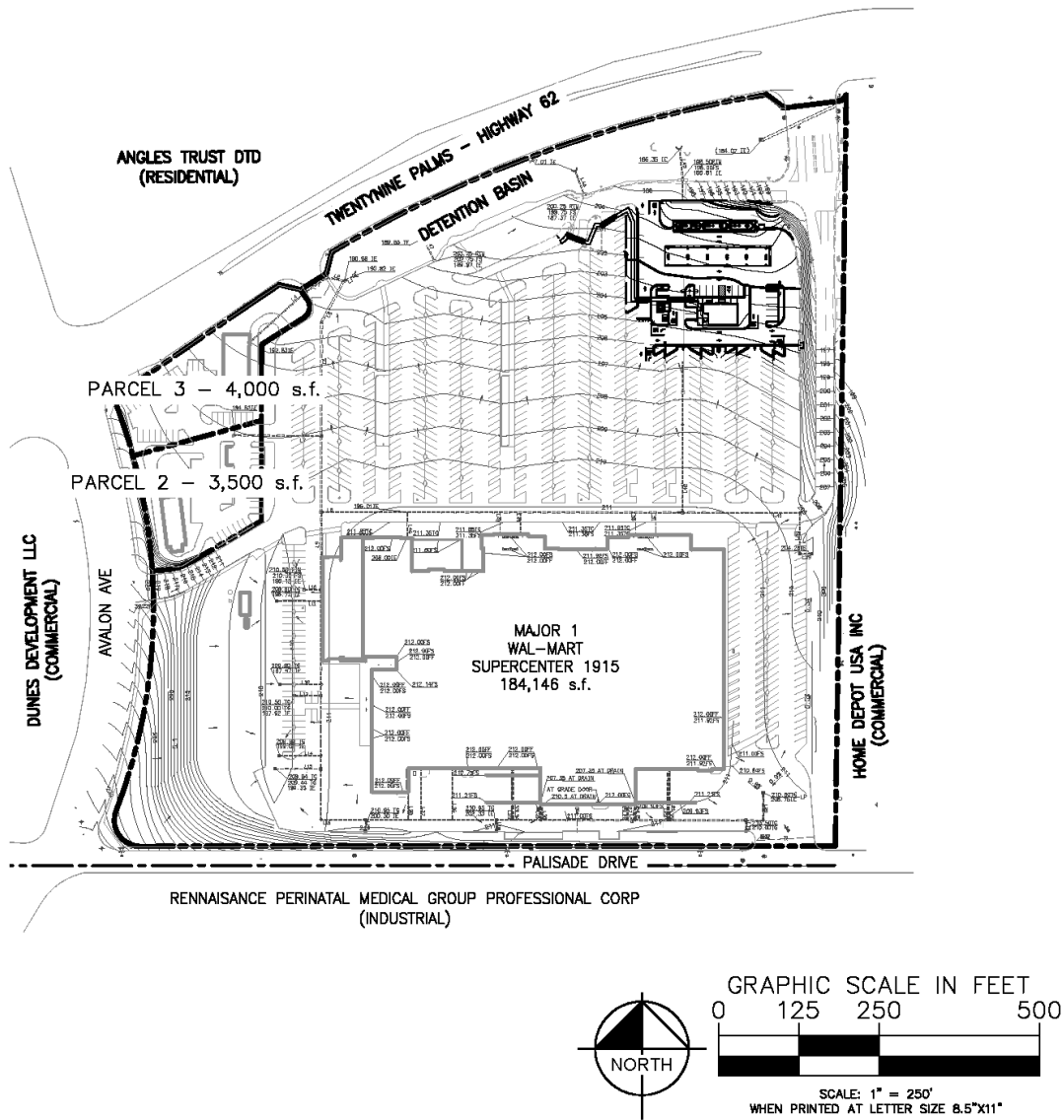


Figure 4-1
Grading Concept

4.2 - ARCHITECTURAL CONCEPT

The architectural style of the Yucca Valley Retail Center will conform to exterior materials, treatments, and colors reflected in the building elevations depicted in Figures 4-2A through 4-2C.

Development within the project area shall comply with the design guidelines contained within the adopted Town Code. Except as provided herein, the design guidelines in the Town Code shall apply to all improvements within the project area, including new construction, remodels, additions, landscaping, paving, signage, amenities, and related facilities. They are provided to guide developers, builders, architects, engineers, landscape architects, and others involved in the preparation of future development proposals to ensure a consistent level of quality throughout the project area. The design guidelines will assist the Town of Yucca Valley staff and decision-making authorities with criteria to evaluate future development proposals.

Architectural Design Objectives

- To establish a comprehensively designed project that incorporates unity through the use of complementary colors, materials, and landscape themes.
- To design within the context of the local environs.
- To create a project that provides for efficient circulation for both vehicles and pedestrians.

Architectural Design Guidelines

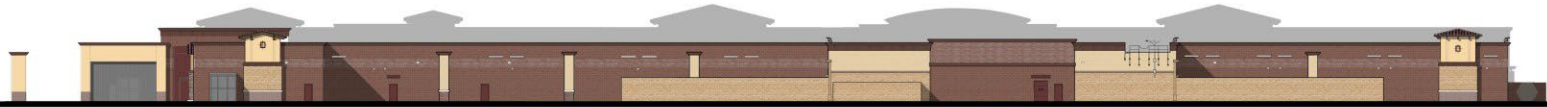
These Architectural Design Guidelines are intended to provide an overall direction in the design of structures within the Specific Plan. No particular style is intended to dominate; however, architectural concepts shall be compatible with existing, surrounding uses. These Guidelines are meant to be flexible over time and correspond with changing conditions in lifestyles, the marketplace, and economic conditions.



North Elevation



West Elevation



South Elevation



East Elevation

Source: WPIIDC, Inc.

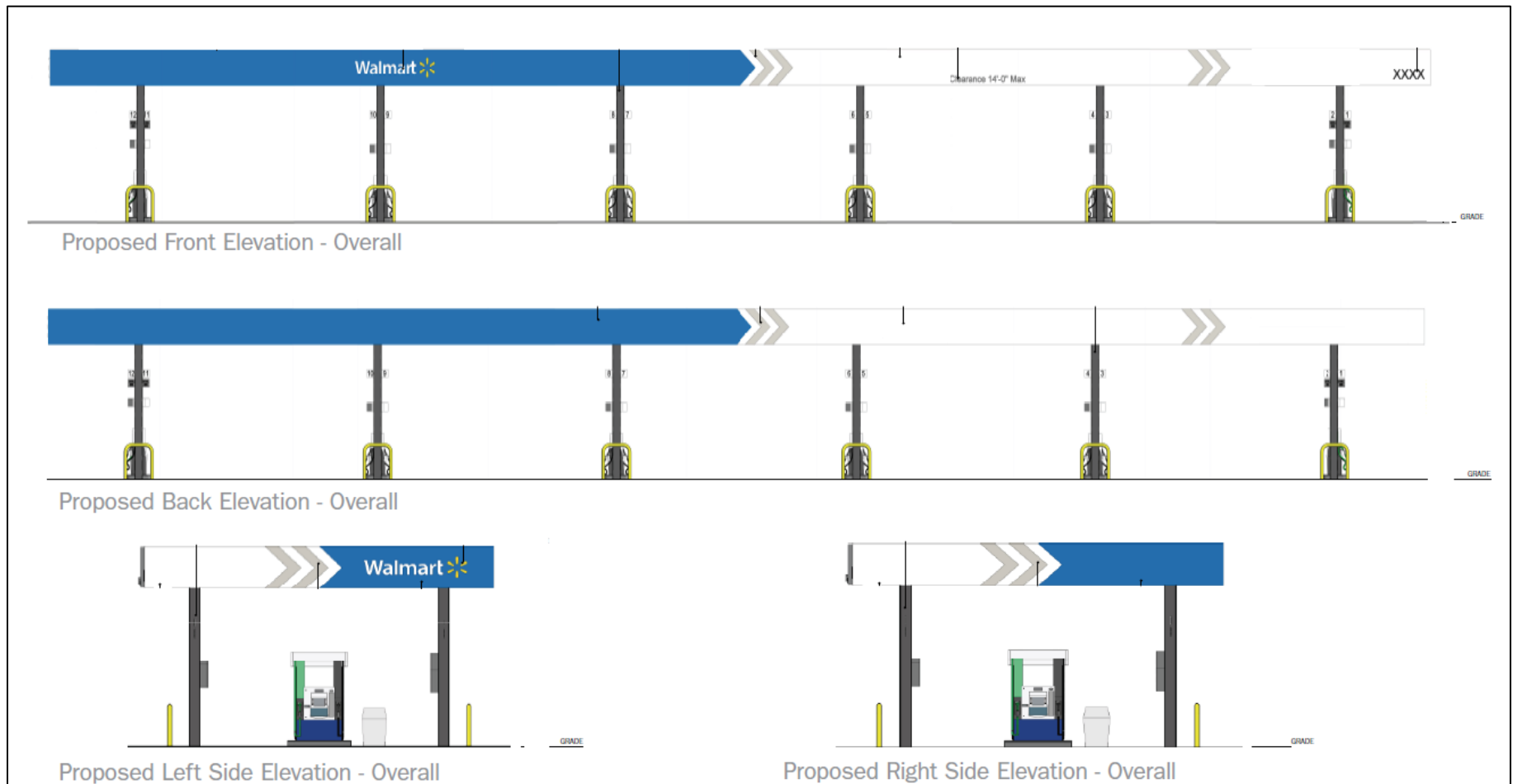


Figure 4-2B
Fuel Station Building Elevations



Figure 4-2C
Convenience Store Building Elevations

Building Mass, Form and Elements

Building massing, scale, and roof forms are the primary design components within the Yucca Valley Retail Specific Plan. Therefore, these require careful articulation. The rear and side elevations, as well as the front, should provide variation in massing, wall, and roof forms. Repetitive elements and modular materials are important elements and are encouraged.

Building Materials

Materials should be selected and detailed for compatibility throughout the site. Buildings should incorporate a mix of at least two of the prevalent materials, including block, block veneer, stucco, wood, or tile. These materials shall be used in traditional combinations that yield an impression of permanence as well as respect for the surrounding environment. Please refer also to Figure 4-3, "Color and Materials."

Color Palette

The use of complementary earth tones should be applied to building facades. The use of a neutral color palette and stone and/or tile accents that shall be repeated on multiple structures will act to unify the Specific Plan area. Company logos and colors shall be allowed on trims and accents. Acceptable materials and colors are presented within Table 4-1.

Table 4-1
Proposed Materials and Color Palette

Major 1 Materials and Color Palette	
1. Smooth Face Block	Angelus Block 8"x8"x16" Color: "Champagne"
2. 4-Score Split Face Block	Angelus Block 10"x8"x16" Color: "Wine"
3. Split Face Block	Angelus Block 8"x8"x16" Color: "Sienna Brown"
4. Smooth Face Block	Angelus Block 8"x8"x16" Color: "Wine"
5. Split Face Block	Angelus Block 8"x8"x16" Color: "Sandstone"
6. Wall	Coronado Stone – Desert Ridge "Rustic Southern LedgeStone"
7. Trim/Cornice	Color: Sherwin Williams SW2808 "Rockwood Dark Brown"
8. Wall	Color: Sherwin Williams SW6113 "Interactive Cream"
9. Wall, Doors	Color: Sherwin Williams SW6115 "Totally Tan"
10. Wall, Doors	Color: Sherwin Williams SW6034 "Arresting Auburn"
11. Clay Roof Tile	Eagle Roofing Capistrano "Mission Red Flashed"
12. Storefront	1 ¾" x 4" Aluminum Frames "Dark Bronze"
13. Trellis, Beams	Color: Sherwin Williams SW3524 "Chestnut"
14. Fence	Ameristar Painted Steel Picket Fencing "Black"
Fuel Station and Convenience Store Materials and Color Palette	
1. Wall (Primary – Fiber Cement Panel)	P135SE – Medium Grey
2. Wall (Exterior Insulation and Finish System [EIFS] Accent)	E76 – Medium Walmart Blue
3. Wall (EIFS Field Color)	E134 – Light Gray
4. Fascia	P134E – Light Gray
5. Fascia (Accent)	P162 – Black Gray
6. Canopy Finish	P76 – Medium Walmart Blue
7. Canopy Chevron	P134 – Repose Gray / SW7015
8. Canopy Columns	P162E – Black Gray
9. Wall (Accent Base)	E49 – Dark Gray / SW7674
10. Sign Background (Canopy Clearance)	P140 – White Paint
11. Wall Signage	Vinyl (Applied)

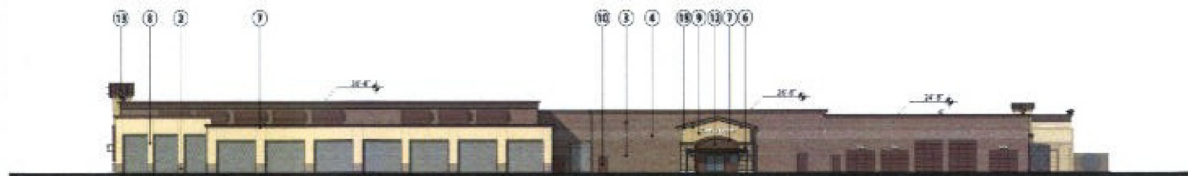
Expanded Materials and Color Palette for Outpad uses	
Split Face Block	
Angelus Block 8"x8"x16" Color: "Sandstone" Split Faced	
Angelus Block 8"x8"x16" Color: "Sienna Brown" Split Faced & Fluted	
Angelus Block 8"x8"x16" Color: "Wine" Smooth Face	
Paint Color – Sherwin Williams:	
SW6114 "Bagel"	
SW6116 "Tatami Tan"	
SW6034 "Arresting Auburn"	
SW2808 "Rockwood Dark Brown"	
SW6115 "Totally Tan"	
SW6046 "Swing Brown"	
Trellis	Wood: Stain Color: OK627 Other: Wildgrasses Frazee 8175D



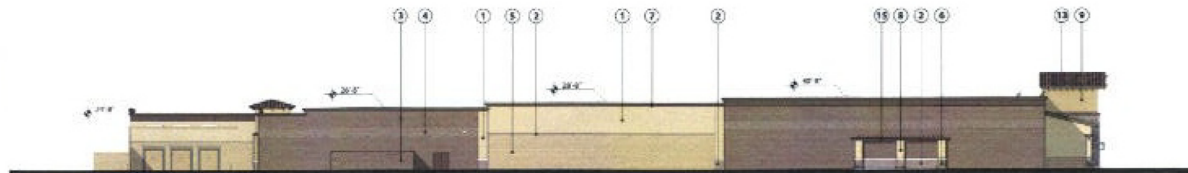
North Elevation



South Elevation



West Elevation



East Elevation

Materials

- 1 8" x 16" x 16" - Smooth Face
Argenta Brick
Color: "Champagne"
- 2 16" x 8" x 16" - 4 Stone Split Face
Argenta Brick
Color: "Blue"
- 3 8" x 16" x 16" - Split Face
Argenta Brick
Color: "Smokey Brown"
- 4 8" x 16" x 16" - Smooth Face
Argenta Brick
Color: "Blue"
- 5 8" x 16" x 16" - Split Face
Argenta Brick
Color: "Sandstone"
- 6 Arch/Structural Stone Veneer
Coronado Stone - Desert Ridge
Weathered Edge
Color: "Basic Southern Ledgerstone"
- 7 Exterior Cement
Sherwin Williams
Color: SW9511 "Crescentive Cream"
- 8 Exterior Cement
Sherwin Williams
Color: SW9113 "Blue by Day"
- 16 Milling Metal Doors and Frames
Sherwin Williams
Color: SW6524 "Steering Auburn"
- 11 Milling Metal Doors and Frames
Sherwin Williams
Color: SW6115 "Totally Tan"
- 12 Exterior Cement
Sherwin Williams
Color: SW6524 "Steering Auburn"
- 13 Capistrano
Baylor Roofing
Color: "Mission Red Flashed"
- 14 1-3/4" x 1/2" Extruded Aluminum Brackets
Browner or Rebranded
Color: "Dark Bronze"
- 15 Main Wood Handrails
Sherwin Williams
Color: SW2524 "Chateau"
- 16 Bench - Creative Pipe
Delta Series DFB-67 SM-P
Color: "Steel"
- 17 Polished Steel Public Restroom or Vinyl-Covered Small Black
Chain Link Fence and 40% Shade Cloth Attached to Inside
Anchorless Hanging Posts on 4" x 4" Post
Color: "Black" 18.3 Gauge Galvalume
- 18 Permaid Concrete Tile
Quikrete Color: Q-8853C
Color: "Natural Smooth"

Source: WPIIDC, Inc.

Figure 4-3A
Color and Materials

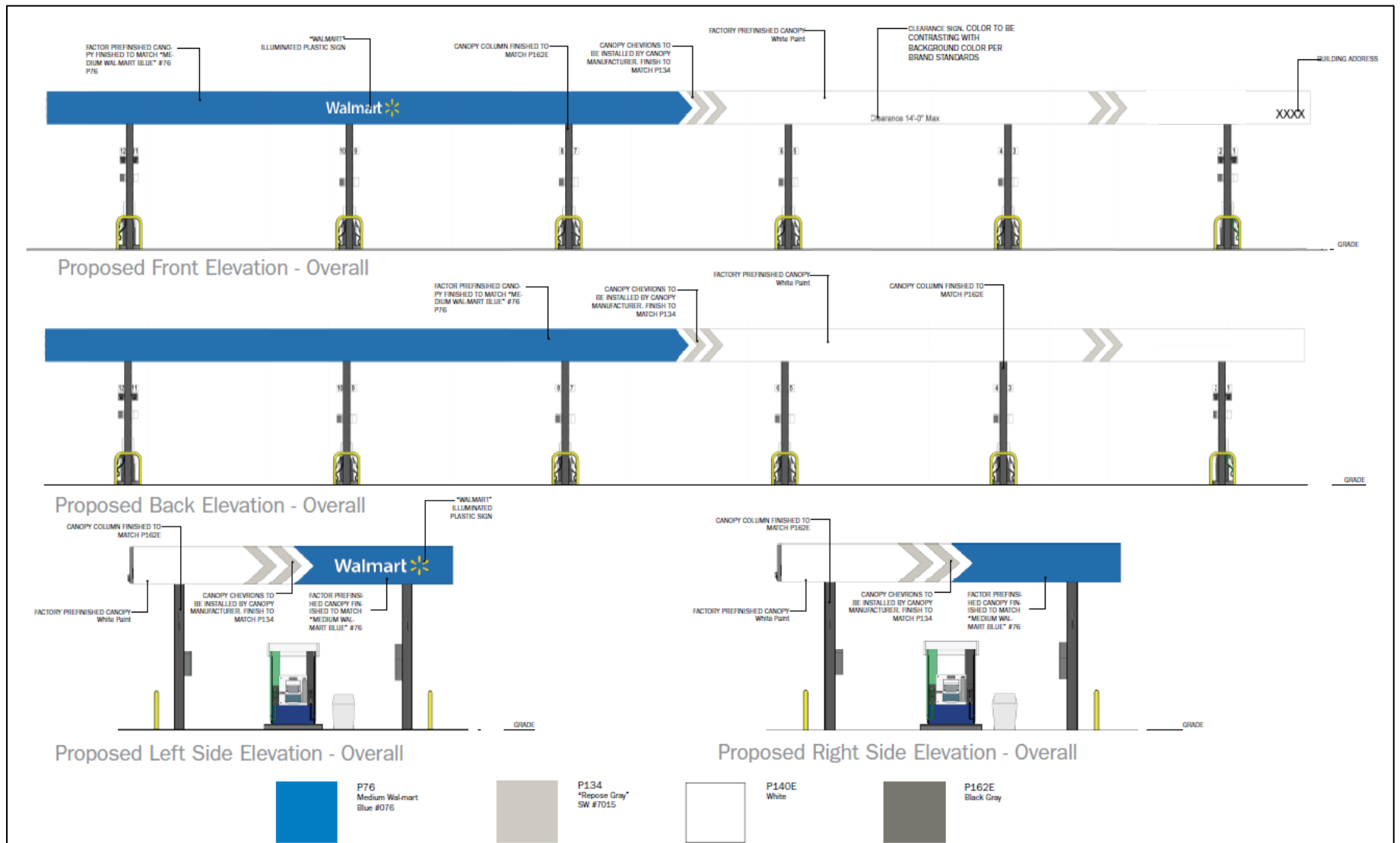


Figure 4-3B
Fuel Station Color and Materials

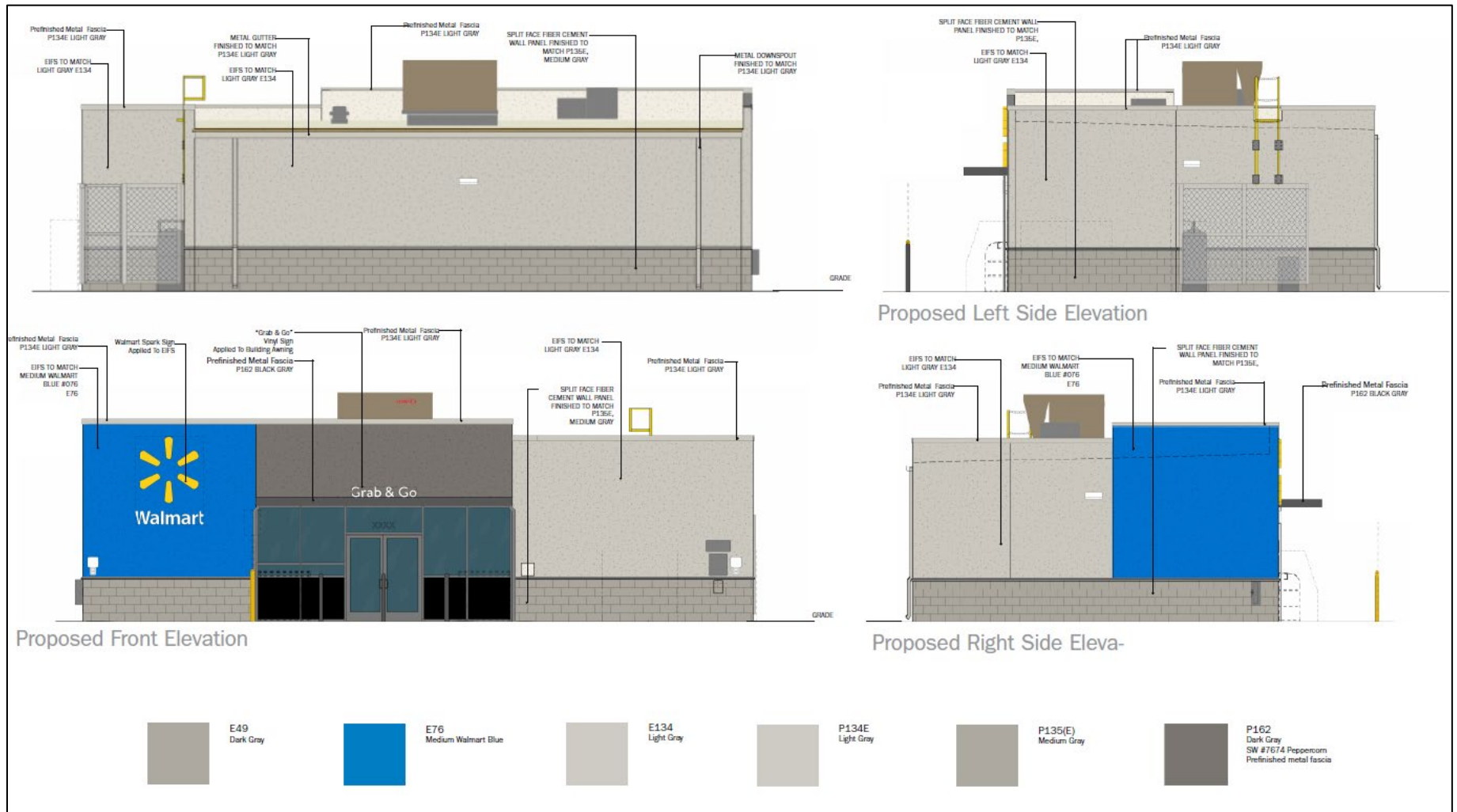


Figure 4-3C
Convenience Store Color and Materials

4.3 LANDSCAPE CONCEPT

The landscaping and streetscape of the Yucca Valley Retail Specific Plan is an important component of project development. Quality in landscape design will serve to enhance the overall appearance and character of the entire Specific Plan development. Please refer also to Figure 4-4, "Landscape Plan Concept." Landscape/streetscape criteria include the following:

- Commercial entry monumentation will be compatible with the building architecture and provide a statement of identification. A distinctive landscape theme will be developed at these entries and maintained throughout the site.
- Xeriscape landscaping shall be used and the design shall reflect the surrounding community's desert character.
- Shrubs and trees will be planted around the buildings to soften building architecture, as well as to enhance and define spaces. All slopes greater than 3:1 gradient that occur within the Specific Plan site will be planted with ground cover, shrubs and trees. All planted areas will be irrigated with an automatic system.
- Parking lot tree plantings will include a design and species that are compatible with the desert landscape.
- Long-term maintenance of on- and off-site improvements, including but not limited to, roadways, parking areas, landscape areas, detention basins, and drainage easements, will be guaranteed through the execution of a private maintenance agreement between the Yucca Valley Retail Center, the adjacent Home Depot Center, and other benefited property owners.



Figure 4-4
Landscape Plan Concept

Plant Materials

The landscaping theme will enhance the overall Specific Plan's character. All landscape areas within the site will be planted with a combination of ground cover, shrubs and trees. Landscaped areas will also be top dressed with decomposed granite. Table 4-2 presents the proposed plant palette for Major 1.

**Table 4-2 Proposed
Plant Palette**

Botanical Name	Common Name	Size	Approx. Quantity
TREES			
Relocated Yucca Brevifolia	Joshua Tree	N/A	65
Parkway Canopy Tree (40' height, 40' spread) Such as:		36" Box	25
Prosopis Chilensis	Chilean Mesquite		
Gleditsia Triacanthos	Honey Locust		
Parking Lot Shade Tree (20' height, 30' spread) Such as:		24" Box	200
Rhus Lancea	African Sumac		
Cercidum "Desert Museum"	Palo Verde		
Interior Driveway Tree (30' height, 20' spread) Such as:		24" Box	48
Eucalyptus Sideroxylon Rosea	Red Ironbark		
Koelreuteria Paniculata	Goldenrain Tree		
Parkway Flowering Tree (15' – 20' height, 20' spread) Such as:		24" Box	43
Lagerstroemia Indica	Crape Myrtle		
Chitalpa Tashkentensis	Pink Dawn		
Screening Tree (20' height, 20' spread) Such as:		24" Box	24
Pinus Halepensis	Aleppo Pine		
Vertical Accent Tree (60' – 100' height) Such as:		16' BTH	25
Washingtonia Robusta	Mexican Fan Palm		
SHRUBS/GROUNDCOVER			
Low to Medium Scale, Drought Resistant Shrubs and Groundcovers for Slopes – Drip Irrigation		1 Gallon	8,100
Acacia Redolens "Desert Carpet"	Prostrate Acacia		
Baccharis Pilularis "Centennial"	NCN		
Cotoneaster Species	Cotoneaster		
Dalea Pulchra	Bush Dalia		
Leucophyllum Frutescens "Compacta"	Texas Sage		

**Table 4-2
Proposed Plant Palette**

Salvia Greggii	Red Sage		
Rosmarinus Officinalis	Rosemary		
Low to Medium Scale, Drought Resistant Shrubs and Groundcovers – Drip Irrigation		1 Gallon	4,600
Buddleia Marrubifolia	Wooly Butterfly Bush		
Calliandra Eriophylla	Fairy Duster		
Dalea Greggii	Trailing Indigo Bush		
Leucophyllum Frutescens “Compacta”	Texas Sage		
Salvia Greggii	Red Sage		
Tecoma Alata	Orange Bells		
Senna Artemisioides	Feathery Senna		
Dasyliion Wheeleri	Desert Spoon		
Hesperaloe Pavifolia	Red Yucca		
Baccharis Pilularis “Centennial”	NCN		
Low Scale, Drought Resistant Interior Planter Shrubs and Groundcovers – Drip or Overhead Spray Irrigation		1 Gallon	2,900
Gazania Hybrids	Gazania		
Hemerocallis Hybrids	Daylily		
Mulhenbergia Capillaris	Pink Mulhy		
Mulhenbergia Rigens	Deer Grass		
Cotoneaster Horizontalis	Rock Cotoneaster		
Pennisetum Setaceum “Rubrum”	Purple Fountain Grass		
Lavandula Spp.	Lavender		
Leucophyllum Frutescens “Compacta”	Texas Sage		
Rosmarinus Officinalis	Rosemary		

N/A – Not Applicable

BTH – Brown Trunk Height

Native Plant Protection and Treatment Guidelines

The Yucca Valley Retail Center Specific Plan conforms with the Town of Yucca Valley Native Plant Protection and Management Ordinance (Ordinance No. 140). According to the Native Plant Survey (Appendix C) conducted for the project, Joshua trees and Mojave Yuccas are the only plant species listed in the Ordinance that occur within the Specific Plan area. A total of 129 Joshua trees and two (2) Mojave Yuccas occur on site. Some of these plants will be salvaged and replanted within the site. Remaining salvaged trees will be put up for adoption pursuant to the Ordinance and Town’s

Joshua tree adoption program. Any plants indicated to be removed by this Specific Plan in conformance with the Native Plant Survey will be removed pursuant to Ordinance No. 140, concurrent with the grading permit for the project.

4.4 - WALLS AND FENCES

Walls and/or fences are permitted along the north, west, and south boundaries of the retail center. If installed, such walls or fences will be designed to provide security, while allowing for territorial views of the surrounding desert landscape and more distant hills. Walls/fences shall be constructed of block masonry, stone, or brick, as appropriate. Any wall adjacent to a public right of way, such as State Highway 62 or Palisade Drive, will be landscaped with a selection of trees, shrubs/hedges, and groundcover and is subject to review, approval, and permits issued by the Town of Yucca Valley and/or Caltrans.

A solid decorative masonry wall of minimum six feet (6') high and five foot (5') wide landscape buffer should be erected along all property lines separating the site from any parcel zoned for residential purposes, and along all alley property lines if the property opposite is zoned for residential purposes. The design of the wall and the proposed construction materials shall be subject to review and approval through the site plan review process.

4.5 - SIGNAGE AND LIGHTING

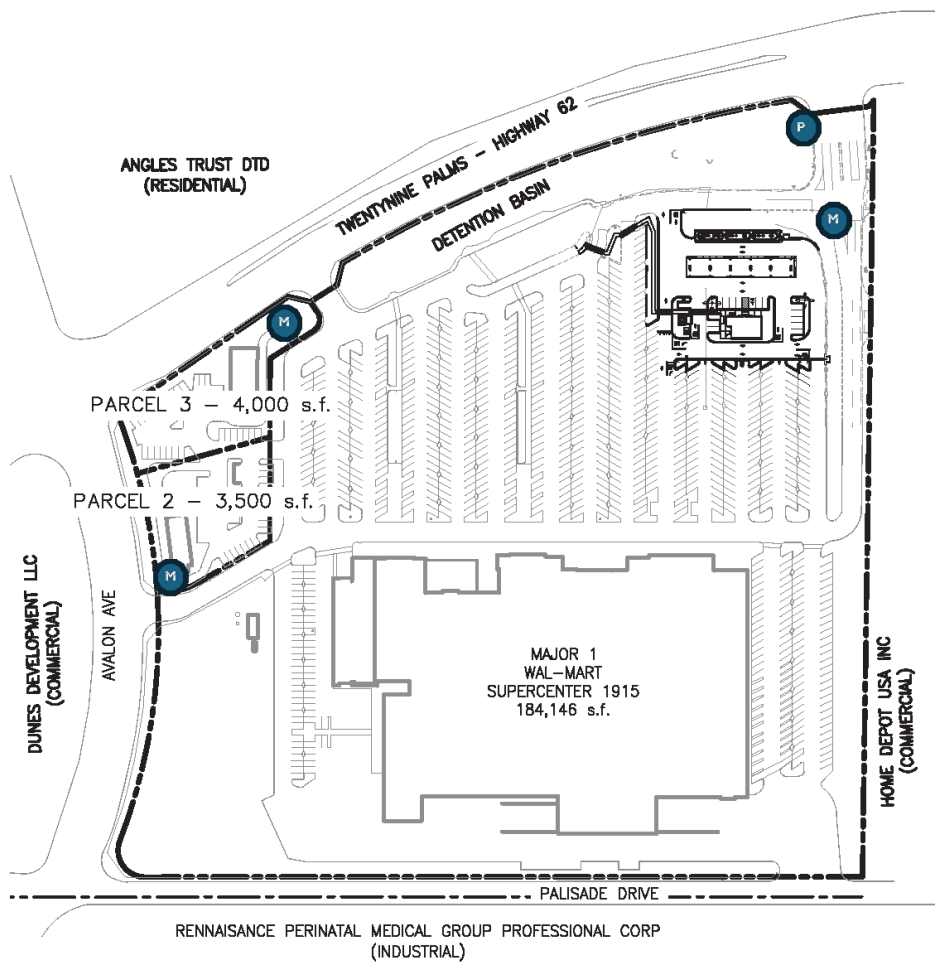
4.5.1 - Signage

The intent of the Sign Program is to achieve a visually coordinated, balanced and appealing signage system throughout the Yucca Valley Retail Center, particularly one that promotes compatibility with the architectural styles and landscape concepts identified within this Specific Plan. The program will conform to the Town of Yucca Valley Sign Ordinance (Ordinance No. 156), except where specifically superseded in this Specific Plan. Proposed signage is discussed below. The design and configuration of all proposed signs is presented within the Comprehensive Sign Program, which is provided

as Appendix D. Sign locations are also presented in Figure 4-5, "Proposed Sign Locations."

Code Reference	Code Requirement	Specific Plan Proposal
<p>Wall Signs</p> <p>Section 87.07122 § b.1.A</p>	<p>For each use or occupancy, one building sign per building frontage oriented towards a street, driveway, or parking area based on a maximum of one (1) square-foot of sign area per one linear foot of use or occupancy. For each occupancy with a minimum width of 80 feet, a maximum of two building signs shall be allowed on each building frontage oriented towards a street, driveway, or parking area provided the combined area of the two signs does not exceed the allowable square-footage.</p>	<p>Anchor tenant: Total amount of proposed wall signage is 560.57 SF. Code allows 1, 518.15 SF.</p> <p>Outparcel tenant: Total amount of proposed wall signage is 1 square-foot per lineal square-foot of street frontage.</p>
<p>Freestanding Signs</p> <p>Section 87.07122 § b.2.A</p> <p>Section 87.07122 § b.2.B</p> <p>Section 87.07122 § b.2.E</p>	<p>The cumulative total sign area allowed for freestanding signs shall be one (1) square-foot per five (5) linear feet of street frontage on which the sign is located.</p> <p>No single sign shall exceed three hundred (300) square-feet in area.</p> <p>Freestanding building pads located adjacent to a highway or street may be permitted a monument sign not to exceed 25 square-feet.</p>	<p>Anchor tenant: Pylon sign with proposed signage of 100 SF. Code allows 135.8 SF.</p> <p>Outparcel tenants: Monument sign with proposed signage of 25 SF. Code allows 25 SF.</p>

58501 TWENTY NINE PALMS HWY., YUCCA VALLEY, CA 92284
 OVERALL SITE PLAN



LEGEND:

-  = Monument Sign
-  = Pylon Sign

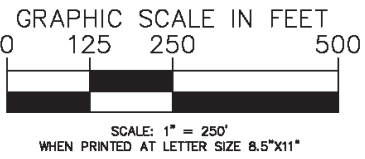


Figure 4-5
 Proposed Sign Locations

Freestanding Signs

There are three (3) proposed freestanding monument signs, including one state-mandated monument sign with electronic fuel price readers. Please refer to Figure 4-5, "Proposed Sign Locations," for the sign locations. The gasoline service station shall be limited to one (1) double-face design of an area not to exceed 36 square feet on each side face. The anchor tenant pylon sign will not exceed 25' in height and 22' in length. Both of the outparcel tenant monument signs are not to exceed 8' in height and 19' in length. All three signs may be internally illuminated with fluorescent tube or LED.

Wall Signs

Wall signs are proposed on the facades of the major retail structure and the fuel station canopy. These signs include both illuminated and non-illuminated signage. Both the fuel station canopy and convenience store are permitted fifty (50) square feet of allowable signage area. In addition, a single ten (10) square foot sign, fixed flat on the surface of the building shall be allowed. The height of this sign shall not exceed 20 feet.

Illuminated Signs

Anchor Tenant Identification Wall Sign

The sign shall be located approximately in the center of the building and will consist of channel letters with vacuum formed face (pan formed) anchored to the building surface. The identification sign, comprised of two lines of illuminated text, will be internally illuminated with fluorescent tube or LED. The illuminated text in the sign will not exceed 7' in height and 38' in length. The total sign area will not exceed 229 square feet.

Pad Identification Sign

The buildings proposed on Parcel's 2 and 3 will be permitted wall signage not to exceed the limits of Section 87.07122 § b.1.A of Ordinance No. 156 which allows a maximum of one (1) square-foot of sign area per one (1) square-foot of linear building frontage. These will consist of channel letters with vacuum formed face (pan formed) anchored to the building surface. The signs will be internally illuminated with fluorescent tube or LED.

Non-illuminated Signs

Anchor Wall Signs

A total of ten (10) non-illuminated identification and directional signs will be placed on the anchor tenant building. These signs will consist of Plexiglas formed letters that are stud mounted to the wall. A complete inventory of these signs is presented within the Sign Program, presented as Appendix D of this Specific Plan.

Non-illuminated wall signs consist of between one and three lines of text. No single line of text will exceed 2' 6" in height and 23' 11 1/2" in length.

On the anchor tenant building, excluding the non-illuminated text within the anchor identification sign, the total amount of non-illuminated wall signage will not exceed 370.57 square feet.

The anchor tenant building will not exceed a total of 560.57 square feet of wall signs. The code allows a maximum of 1,518.15 square feet of allowable wall signage.

4.5.2 - Lighting

The Yucca Valley Retail Center Specific Plan shall conform to the lighting standards of the Town of Yucca Valley. This includes measures to minimize light pollution, which has a detrimental effect on the environment and the enjoyment of the night sky, and measures such as shielding of parking area light fixtures to prevent nuisance spillover effects on surrounding properties.

A Lighting Plan (i.e., Photometric Plan) in conformance with the Town Outdoor Lighting and Night Sky Protection Ordinance (Ordinance No. 90) shall be prepared, to include parking areas and access way lights, external security lights, and lighted signage.

General Provisions for Lighting

- Parking areas and access ways - All lighting will be installed as required to conform with the Town's Outdoor Lighting Plan and Night Sky Protection Ordinance - Illuminated with free-standing light standards with metal halide fixtures. The Yucca Valley Retail Site has been designed with 42-foot pole heights (39 feet on a 3-foot base). The site will utilize Full Cut Off Light Fixtures and Shielded Fixtures around the perimeter of the site, to comply with the Town's Outdoor Lighting and Night Sky Protection Ordinance.
- Signage lighting - In conformance with signage specifications and standards.
- Security lighting - For the major anchor, wall-mounted light fixtures will be located along the rear and side elevation walls, including the rear loading dock. Security lighting will be set on a timer to run from dusk to dawn every day.

**SECTION 5:
INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES**

SECTION 5: INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES

Infrastructure and services to support the Yucca Valley Retail Center shall be extended and improved in conjunction with its phased development. Primary infrastructure facilities are described below.

5.1 - CIRCULATION

The project site's primary access will be from a signalized driveway on Highway 62. This driveway will be a shared access with the Home Depot Retail Center located immediately east of the project. Additional project access will be located on the north-south oriented Avalon Avenue, with truck delivery access provided from Palisade Drive.

In support of the project, a traffic signal has been installed at the project's main entrance, at Twentynine Palms Highway. Avalon Avenue will be widened to its ultimate width. The north side of Palisade Drive has been improved to its ultimate width along the southern boundary of the project site. The roadway was constructed as part of The Home Depot Retail Center, but will be jointly funded by both retail center projects.

Parking requirements for the project are based on the Town of Yucca Valley's parking requirements. The Town requires retail shopping centers to provide four (4) parking spaces for each 1,000 square feet of building area. Major 1 provides for 184,146 square feet of retail space, and as such, the minimum parking requirement is 737 parking spaces. The project will provide 785 parking spaces for this use, thus exceeding the requirement. Additional parking required for the fast-food restaurant and retail pads would be provided in compliance with Town requirements. The project will provide a total of 54 parking spaces for these uses, thus exceeding the requirement of 29 spaces.

5.2 - DRAINAGE

On-site drainage will be captured via a series of catch basins and transported via underground pipes to the retention basin proposed on the northern perimeter of the site.

The retention area straddles the northern boundary of the site and will retain onsite flows to pre-development discharges. The basin will be designed so that post-development water released will be equal to pre-development conditions. This will allow the surface water flows from the site to drain to the existing storm drain facilities within State Highway 62.

5.3 - WATER

Public water service is provided by High Desert Water District. Water service to the plan area will be provided with a connection to the 12" public water line in Avalon Avenue, and the extension of a public water line along the alignment of Palisade Drive and northerly onto the project site near the westerly property line to serve both the major retail and the outparcels. These extensions will be constructed by the project and dedicated to the Water District. There will be private water lines within the site to provide service to the major retail and outparcel buildings.

5.4 - WASTEWATER

Currently, the Town of Yucca Valley does not provide sewer treatment to any portion of the Town, therefore, requiring development projects to provide and maintain their own private system.

The anticipated combined average flow from the project site is approximately 9,620 GPD with 6,120 GPD from the Wal-Mart building, and an additional 3,500 GPD estimated for the outparcel buildings. The Town of Yucca Valley, Community

Development Department has, in conjunction with the State RWQCB, set a mandated maximum of 5,000 GPD per development for “Local Agency approval” for any proposed sewer treatment system. Flows exceeding that amount require both San Bernardino County Health Department and the State RWQCB approvals.

Project-generated effluent will be handled by an on-site secondary effluent treatment system that includes nitrogen removal. The package sewer treatment plant will be constructed under the easterly portion of the parking lot. The plant will have sufficient capacity to accommodate the projected wastewater flows anticipated to be generated by the project. After treatment, the wastewater effluent will be discharged into five (5) seepage pits located below the parking lot. The effluent will then naturally percolate back into the ground. Please refer also to Figure 5-1, “Sewer Plan.”

5.5 - DRY UTILITIES

The Yucca Valley Retail Center lies within the service areas of Southern California Edison (electricity), Southern California Gas Company (natural gas), and Verizon (telephone). The utility network will be expanded to meet the future demands of the project. Electric, gas and telephone service lines will be extended from State Highway 62 within a joint trench along the western site boundary. The specific design and sizing requirements of necessary improvements and/or additions will be determined as part of the Town and utility provider’s processing and permitting procedures.

5.6 - GENERAL INFRASTRUCTURE AND SERVICE REQUIREMENTS

- 5.6.1 Any offsite installation of curbs, sidewalks, street and driveway paving, and street lighting as may be required by the Town shall be subject to the provisions of the Town’s Standard Improvement Plans.
- 5.6.2 All onsite water supply, wastewater collection, storm drainage lines and facilities shall be provided by the developer.

58501 TWENTY NINE PALMS HWY., YUCCA VALLEY, CA 92284
 OVERALL UTILITY PLAN

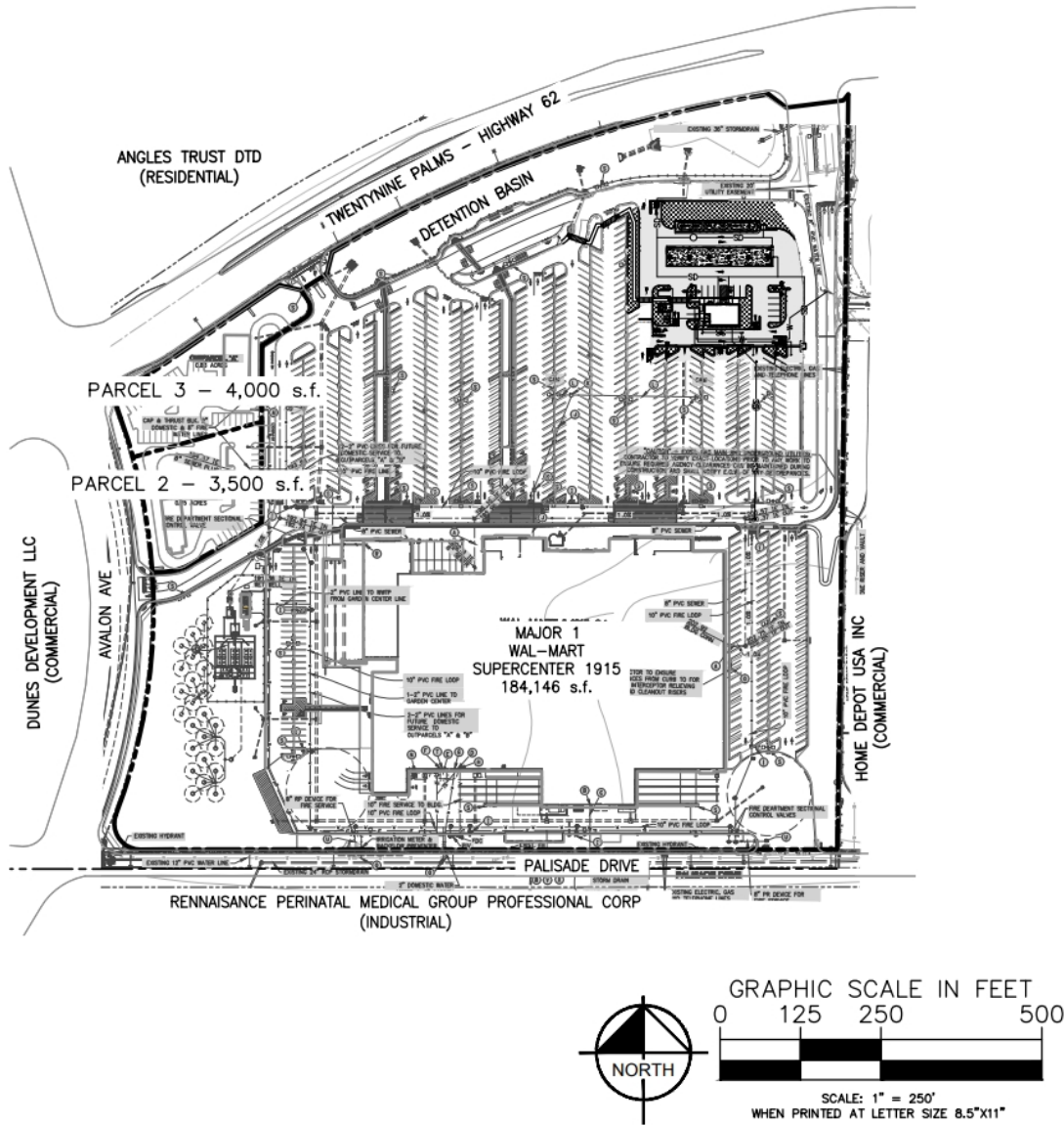


Figure 5-1
 Utility Plan

- 5.6.3 All utility lines serving the project area shall be placed underground by the developer as a condition of approval.
- 5.6.4 Adequate water for estimated domestic consumption and for fire flow requirements, as determined by San Bernardino County Fire Department, shall be provided by the developer.
- 5.6.5 Development of the project area shall comply with all requirements of the San Bernardino County Fire Department in providing adequate fire flow, number and location of hydrants, building clearances, and street and driveway/aisle turning radii for access.
- 5.6.6 The developer shall review with the Police Department the nature and design of the development, and types of security measures to be implemented.

**SECTION 6:
IMPLEMENTATION AND ADMINISTRATION**

SECTION 6: IMPLEMENTATION AND ADMINISTRATION

6.1 - FINANCING AND PHASING OF DEVELOPMENT

The Yucca Valley Retail Center is a self-supporting commercial project with individual owners/developers responsible for on and offsite improvements necessary to support development of the project. Development of the plan area will occur in two phases, generally as follows:

Phase 1:

- Rough Grading of the entire 25-acre site and building pads
- Precise grading of Parcel 1 and driveways onto State Highway 62 and Palisade Drive
- Detention basin/drainage improvements (onsite and offsite)
- Installation of onsite sewage treatment system
- Provision of dry utilities (gas, electric, telephone)
- Access from State Highway 62 (Driveways)
- Construction of the major retail, and required parking area
- Construction of secondary drives onto State Highway 62 and Palisade Drive
- Landscape (Parcel 1, State Highway 62 frontage, State Highway 62 entry corners, drives along Avalon Avenue and Palisade Drive)
- Palisade Drive extension and improvements funded according to Section 1.3
- Off-Site Improvements (as detailed in Section 1.0, "Plan Overview")

Phase 2:

- Precise Grading and pad preparation for outparcel buildings (Parcel 2 and 3)
- Construction of outparcel buildings (Parcel 2 and 3)
- Wet and dry utility connection (Parcel 2 and 3)
- Landscape (remainder parking area and corners in Parcel 2 and 3)
- On-site septic system to serve outparcel buildings

Phase 3:

- Construction of fuel station and convenience store

6.2 - APPLICATION PROCESSING

Following is a summary of the application requirements for the Yucca Valley Retail Center Specific Plan and individual projects within the Specific Plan. This section summarizes the processing procedures and is not intended to replace the Development Code or other ordinance requirements of the Town of Yucca Valley except where noted herein.

The Town of Yucca Valley has adopted and amended the County of San Bernardino's Development Code (Articles 1-6) General Procedures. The Development Code uses five procedures to review all types of development applications: Public Hearing, Design Review, Administrative Review, Staff Review with Notice, and Staff Review without Notice.

Overview of Applications and Meeting Requirements

Approval of a Specific Plan, Conditional Use Permits (CUPs) (if needed), Site Plan, and Subdivisions each require a discretionary action at public hearings before the Planning Commission and Yucca Valley Town Council. Applications are first reviewed by Staff. Then they are set for review by the Development Review Committee (DRC) and, in some cases, forwarded to the Traffic Advisory Committee (TAC). The recommendations of the DRC and TAC are forwarded to the Planning Commission, which provides a recommendation to the Town Council. Applications for Specific Plan, CUP and Site Plans can be considered concurrently; however, separate and distinct development applications must be made and the appropriate fees paid for each type of action requested. In addition, an Environmental Application must be made with each project.

Specific Plan

Ordinance 87 (February 19, 1998, Yucca Valley Town Council) established Article 13 for Specific Plans in the Town of Yucca Valley. The purposes of this ordinance are:

- To facilitate implementation of the General Plan by establishing procedures for adoption, maintenance and administration of Specific Plans per Sections 65450, et seq., of the California Government Code; and,
- To provide a framework for future development which encourages flexibility and creativity in design, efficient use of resources, infrastructure planning, conservation of open space, and development of various types of housing and living environments for the Town of Yucca Valley.

Where a Specific Plan is not consistent with the General Plan, appropriate General Plan amendments must be considered concurrently with the Specific Plan.

An adopted specific plan supersedes the town zoning, as shown on the Zoning District Map and in the Town Zoning Ordinance (Ordinance No. 79), for the site area included in the proposed land use plan of the Specific Plan.

All other provisions of the Town Development Code, which are applicable to the site, shall apply unless identified in the Specific Plan.

Division of Land Procedures (Subdivision Map Act)

Implementation of the Specific Plan would require the subdivision of land with a Parcel Map pursuant to California Government Code, Title 7, Division 2, Subdivision Map Act, and Chapter 4 of the Town of Yucca Valley Development Code. When the subdivision of land is associated with the Specific Plan, a public hearing is required for the approval of subdivisions.

Site Plan Review (Article 12): Individual projects may be considered under Town Site Plan Review procedures if they are in conformance with the appropriate criteria of the Specific Plan. Staff determines whether Site Plan Review is appropriate during the Pre-Application process. A Site Plan Review Application is submitted with a letter of explanation for the proposed uses. The application is accompanied by the site plan and appropriate fees. Site Plan Review applications must be reviewed and approved by the Planning Commission. The recommendations of the Development Review Committee and, if appropriate, the Traffic Advisory Committee will be forwarded to the Planning Commission for their consideration.

Conditional Use Permit (Article 1): A Conditional Use Permit (CUP) is required for specific uses listed in the land use districts of the Development Code. A CUP may be needed for new development and/or expansion, alteration and/or disturbance of land associated with an existing commercial, industrial, institutional or multiple residential site pursuant to the criteria of the Development Code. Additionally, the conversion of non-conforming land uses is subject to CUP requirements. A CUP is required for Specific Plan uses listed in Section 3.2.3 herein. The Town Staff would determine the need for a Conditional Use Permit during the Pre-Application process. All CUPs and amendments to CUPs shall be subject to approval by the Planning Commission.

Temporary Uses: The Development Code allows for temporary or seasonal uses subject to review and approval of the Planning Director. These types of uses require a Temporary Use Permit Application to be submitted to the Community Development Department along with a site plan and application fees.

Exterior Modifications: Alterations to the exterior of any structure approved under CUP 02-04 shall require an amendment to the CUP and approval by the Planning Commission.

Appeals: Appeals can be made to the Town Council within ten days of any action. An Appeal Application must be submitted to the Community Development Department with the applicable fees.

6.3 - SPECIFIC PLAN AMENDMENTS

The Town of Yucca Valley Community Development Director shall be responsible for administering the provisions of this Specific Plan in accordance with the provisions of the State of California Government Code, Subdivision Map Act, and the Town of Yucca Valley General Plan and Development Code.

The Specific Plan may be amended per Section 9.70.120 of the Development Code (Specific Plan Amendment).

Minor Amendments

Minor amendments include simple modifications to text or graphics that do not change the meaning, intent, or are contrary to any provision of the Specific Plan. Minor modifications may be accomplished administratively by the Director of Community Development and are appealable to the Planning Commission and Town Council.

Major Amendments

Major modifications are amendments to exhibits or text that are intended to change the intent, development standards or other significant provisions of the Specific Plan. Major modifications require a Specific Plan Amendment and approval by the Planning Commission and Town Council in accordance with requirements of Chapter 9.83 of the Development Code (Permit Amendments).

Interpretations

Interpretations of the provisions of this Specific Plan are subject to Chapter 9.83 of the Development Code, except as follows:

- When there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, the Director of Community Development has the authority to interpret the intent of such provision.
- The Director of Community Development may, at his/her discretion, refer interpretations to the Planning Commission for its consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation.
- All interpretations made by the Director of Community Development may be appealed to the Planning Commission in accordance with the appeal procedures set forth in the Development Code.

APPENDICES

**APPENDIX A:
LEGAL DESCRIPTION**

**APPENDIX B:
GENERAL PLAN CONSISTENCY**

**APPENDIX C:
NATIVE PLANT SURVEY**

**APPENDIX D:
COMPREHENSIVE SIGN PROGRAM**

**APPENDIX E:
CONDITIONS OF APPROVAL**